

**MEETING OF THE
MAYOR AND BOARD OF ALDERMAN OF THE
CITY OF RIDGELAND, MISSISSIPPI
December 2, 2014
6:00 PM**

INVOCATION

PLEDGE OF ALLEGIANCE

CONSIDERATION OF MINUTES FROM PRIOR BOARD MEETING

Approve Minutes of November 18, 2014 Board Meeting

CONSIDERATION OF MINUTES FROM PRIOR WORK SESSION

Approve Minutes of November 17, 2014 Work Session

1. AGENDA ITEMS

- a) Public Hearing for the consideration of Class A Zoning Status for Lakeshore Landing Apartments (Mid-American Apartments, L.P.)
- b) Public Hearing for the consideration of Class A Zoning Status for Pear Orchard Apartments (Mid-America Apartments, L.P.)
- c) Public Hearing - Kroger Fuel Center Conditional Use Petition Appeal (Hudson Land Company, LLC)
- d) Consider the issuance of a Conditional Use Permit for Kroger Fuel Center - 6922 Old Canton Road
- e) Site Plan / Architectural Review - Kroger Fuel Center (6922 Old Canton Road)

2. CONSENT ITEMS

- a) 139 McCormack Drive- Cost Resolution
- b) 622 Ralde Circle- Cost Resolution
- c) 710 Glen Burne Lane- Cost Resolution
- d) Set Hearing before the Mayor and Board of Aldermen for the consideration of the Section 11 Reconsideration Petition by BBC Baymeadows, LLC - January 6, 2015, 6pm City Hall Board Room
- e) Set Public Hearing before the Mayor and Board of Aldermen for the consideration of the Class A Zoning Status for Baymeadows Apartments (BBC Baymeadows, LLC) - January 6, 2015, 6pm City Hall Board Room

- f) Site Plan / Architectural Review for Magnolia Dental Clinic (Maple Street)
- g) Approve Aldermen Kevin Holder's Re-Appointment of Shirley Gill, Alderman Chuck Gautier's Re-Appointment of Drew Malone, Committee's Re-Appointment of Scott Higginbotham, Lee Hutchings, and Dawn Hall to the Community Awareness Committee
- h) Approve BIS Service Agreement Beginning January 1, 2015 and Ending December 31, 2015
- i) Approve Mayor McGee and Any Aldermen That Desires to Attending NLC Congressional City Conference in Washington, DC March 7-11, 2015

3. PAYMENT OF CLAIMS

- a) Approve Payment of Claims 119675-119908 and November 28, 2014 Payroll (\$1,490,430.17)

ADJOURNMENT

INFORMATION FOR MAYOR AND BOARD

City Attorney Statement for Services thru 11/21/2014

**MEETING OF THE
MAYOR PRO TEMPORE AND BOARD OF ALDERMAN OF THE
CITY OF RIDGELAND, MISSISSIPPI
November 18, 2014
6:00 PM**

The Mayor Pro Tempore, Ken Heard, called the second regular November 2014 meeting of the Board of Aldermen to order. Present were Alderman D. I. Smith, Alderman Wesley Hamlin, Alderman Scott Jones, Alderman Chuck Gautier, Alderman Ken Heard, Alderman Kevin Holder, City Attorney James Gabriel, and City Clerk Paula Tierce. Absent were Mayor Gene McGee and Alderman Brian Ramsey. The meeting was opened with an invocation by Alderman D. I. Smith followed by the Pledge of Allegiance, led by Will Scoggins from Boy Scout Troop 279, who was present working on his Citizenship badge.

The Mayor Pro Tempore and Board of Aldermen were provided the November 2014 Sales Tax Report, the October 2014 Privilege License Report, and the October 2014 Financial Statement.

Next came the matter of accepting the Minutes of the November 2, 2014 Work Session and the November 3, 2014 Mayor and Board of Aldermen Meeting. The Minutes were accepted with no corrections noted.

CONSENT AGENDA

Next came the matter of the items set out on the Consent Agenda. Alderman Chuck Gautier moved to approve the Consent Agenda:

- a) Approve Social Media Contract with Think Webstore for Period Beginning January 1, 2015 through December 31, 2015 – *Order Attached Hereto As Exhibit “A”*
- b) Approve Advertising for City Depository for Calendar years 2015 and 2016 – *Order Attached Hereto As Exhibit “B”*
- c) Homeland Security Cooperative Agreement – *Order Attached Hereto As Exhibit “C”*
- d) Approve Authorization to Advertise for Samuels Lane Water Well – *Order Attached Hereto As Exhibit “D”*
- e) Approve Samuels Lane Well DWSIRLF Funding Resolution – *Resolution Attached Hereto As Exhibit “E”*
- f) Approve Authorization to Advertise for Wastewater Metering Station Improvements – *Order Attached Hereto As Exhibit “F”*

The Motion was seconded by Alderman D. I. Smith and a vote was taken thereon as follows:

Alderman D. I. Smith	Aye
Alderman Scott Jones	Aye
Alderman Wes Hamlin	Aye
Alderman Chuck Gautier	Aye
Alderman Kevin Holder	Aye

Alderman Brian Ramsey Absent

The Mayor Pro Tempore then declared the Motion carried.

PAYMENT OF CLAIMS

There next came for consideration the matter of payment of claims. Alderman Scott Jones moved that claim numbers 119375 through 119674 and the November 14, 2014 Payroll, which totals \$1,388,715.43, be approved and paid. The Motion was seconded by Alderman Wes Hamlin and a vote was taken thereon as follows:

Alderman D. I. Smith	Aye
Alderman Scott Jones	Aye
Alderman Wes Hamlin	Aye
Alderman Chuck Gautier	Aye
Alderman Kevin Holder	Aye
Alderman Brian Ramsey	Absent

The Mayor Pro Tempore then declared the Motion carried.

Ellen Emmich requested the opportunity to speak to the Board of Aldermen regarding Consent Items “d”, “e”, and “f”. The Mayor Pro Tempore allowed Ellen Emmich to speak and Ms. Emmich requested that the Board of Aldermen conduct certain studies before proceeding on said items. The Mayor Pro Tempore informed Ellen Emmich that the City of Ridgeland retains and relies on professionals in the appropriate fields of study for items of this nature.

The Mayor Pro Tempore informed the Board of Aldermen of a need to go into Closed Session to discuss the need to go into Executive Session to discuss potential litigation. Alderman Chuck Gautier moved to go into Closed Session to discuss the need to go into Executive Session to discuss potential litigation. Alderman Kevin Holder seconded the motion and a vote was taken thereon as follows:

Alderman D. I. Smith	Aye
Alderman Scott Jones	Aye
Alderman Wes Hamlin	Aye
Alderman Chuck Gautier	Aye
Alderman Kevin Holder	Aye
Alderman Brian Ramsey	Absent

The Mayor Pro Tempore then declared the Motion carried.

The meeting was closed and discussion following regarding the necessity of going into Executive Session to discuss potential litigation.

Alderman Kevin Holder moved to go into Executive Session to discuss potential litigation. The Motion was seconded by Alderman Scott Jones and a vote was taken thereon as follows:

Alderman D. I. Smith	Aye
Alderman Scott Jones	Aye
Alderman Wes Hamlin	Aye

Alderman Chuck Gautier	Aye
Alderman Kevin Holder	Aye
Alderman Brian Ramsey	Absent

The Mayor Pro Tempore then declared the Motion carried.

The Mayor Pro Tempore reopened the meeting and announced that the Board of Aldermen were going into Executive Session to discuss potential litigation.

EXECUTIVE SESSION

Alderman Chuck Gautier moved to leave Executive Session. The Motion was seconded by Alderman Kevin Holder and a vote was taken thereon as follows:

Alderman D. I. Smith	Aye
Alderman Scott Jones	Aye
Alderman Wes Hamlin	Aye
Alderman Chuck Gautier	Aye
Alderman Kevin Holder	Aye
Alderman Brian Ramsey	Absent

The Mayor Pro Tempore then declared the Motion carried.

The Mayor Pro Tempore reopened the meeting an announced that no action was taken by the Board of Aldermen during the Executive Session.

ADJOURNMENT

There being no further business before the Mayor and Board of Aldermen, the Mayor Pro Tempore declared the second regular November meeting adjourned at 6:46 p.m.

WITNESS MY SIGNATURE, this the _____ day of November, 2014.

KEN HEARD, MAYOR PRO TEMPORE

ATTEST:

PAULA TIERCE, CITY CLERK

**MINUTES OF THE WORK SESSION
OF THE MAYOR AND BOARD OF ALDERMEN
OF THE CITY OF RIDGELAND
NOVEMBER 17, 2014
6:00 P.M.**

The Mayor Pro Tempore opened the work session of November 17, 2014 of the Board of Aldermen. Present were Mayor Pro Tempore Ken Heard, Alderman D. I. Smith, Alderman Scott Jones, Alderman Brian Ramsey, Alderman Kevin Holder, Alderman Wes Hamlin, City Attorney James Gabriel, and City Clerk Paula Tierce. Absent were Mayor Gene McGee and Alderman Chuck Gautier.

The Mayor Pro Tempore presented the proposed agenda, attached hereto as Exhibit "A". Each item was discussed with no action being taken by the Mayor Pro Tempore & Board of Aldermen.

The meeting concluded at 6:10 p.m.

WITNESS MY SIGNATURE, this the _____ day of November, 2014.

Ken Heard, Mayor Pro Tempore

ATTEST:

Paula Tierce, City Clerk

RECEIVED
AUG 04 2014
BY: *MW*

(Official Form March 2014)

6. A copy of the written authority of the owner's representative to act on behalf of the Owner is attached hereto as Exhibit "B", if applicable.

7. The street address of the property is: Lakeshore Landing Apartments

2144 Lakeshore Drive

Ridgeland, Mississippi 39157

Tax Parcel ID Number(s): 072H-28C-118/00.00

8. A survey of the property certified by a licensed land surveyor is attached as Exhibit "C". The certified plat or map clearly illustrates and indicates the total acreage, number of residential or commercial units in each building (if applicable), and exterior facilities.

9. The property is presently zoned R-5, Multi-Family Residential, according to the official zoning map of Ridgeland, Mississippi.

10. Petitioner requests the follow Nonconforming Class Status (check one):

☐ Administrative Class A Nonconformity (Section 40.03.C)

☒ Designated Class A Nonconformity (section 40.03.D)

11. A vicinity map or plat depicting an area of at least 300' surrounding the subject property in all directions is attached to this Petition as Exhibit "D". The vicinity map includes the current zoning classification of all lands within 160' of the subject property.

12. A list of the names and addresses of all owners of property within 160 feet of the subject property, excluding road rights-of-way, according to the most recent county tax roll is attached as Exhibit "E".

13. Site and architectural plans for development/improvement of the property may be attached as Exhibit "F".

14. Petitioner intends to use the subject property for the following purpose(s) in accord with requested Class A Nonconforming Status: _____

Lakeshore Landing seeks to continue to use the property as it was originally built in 1974, and as it has been used ever since. Namely, it seeks to continue operation of this apartment complex at the density of 19.4 units per acre and, if and when it becomes necessary, to repair and rebuild to property in its current form. It does not have current plans to further develop this property, let alone to increase the density of the units.

15. Class A Nonconforming Status of the property is requested for the following reason(s):

Lakeshore Landing seeks this designation in the light of the City's adoption of the new zoning ordinance. Designation of the property as a Class A Nonconforming Status will resolve how the property may be used on a going forward basis.

16. Petitioner declares that the continuance of the described Nonconforming Use, Lot, Structure, or Occupancy would not be contrary to the public health, safety or welfare, or the spirit of this Ordinance, if approved. Petitioner offers the following statement to support this declaration (attach additional sheets, if necessary): _____

See attached response.

17. Petition declares that the use, lot, structure, or occupancy does not and is not likely to significantly depress the value of nearby properties. Petitioner offers the following statement to support this declaration: _____

See attached response.

18. Petitioner declares that the use, lot, structure, or occupancy was lawful at the time of its inception and that no useful purpose would be served by strict application of the provisions or requirements of this Ordinance to the nonconformity. Petitioner offers the following statement to support these declarations: _____

See attached response.

19. Petitioner files herewith one original (1) and ten (10) legible copies of this Petition and all exhibits attached hereto.

20. In the event that the Petitioner is seeking and Administrative Class A Nonconforming Status, Petitioner acknowledges the Petitioner must give at least fifteen (15) days notice, to all property owners owning property within 160' of the subject property by certified mail, return receipt requested, of the request set forth in this petition and of the end date of the comment period. Except as otherwise determined, all certified mail receipts and any certified mail return receipts shall be submitted prior to the granting of the status.

21. Petitioner acknowledges that Petitioner has received a copy of the Procedural Rules of the City of Ridgeland Zoning Board, has read the same and fully understands the requirements, rights and duties set forth therein.

22. The required \$150.00 filing fee has been paid with the filing of this Petition.

Respectfully Submitted,

Mid-America Apartments, L.P.

By: Mid-America Apartment Communities, Inc., its General Partner

By: Robert J. DelPriore

Robert J. DelPriore

EVP, General Counsel

Date: 8/4/2014



RESPONSE TO QUESTION NO. 16

I. Description of Property

Lakeshore Landing is an apartment complex with 196 units on a 10.078-acre parcel of property in Northeast Ridgeland. It has been there since 1974, before this area was annexed by the City of Ridgeland.



The complex is accessible via a single entrance road with access to Lake Harbour Drive.

The complex is not visible from this busy thoroughfare, giving it a secluded, secure feel.



There are two apartment complexes – The Pointe of Ridgeland and Legacy Apartments – located to the north of Lakeshore Landing. There are also single family residential homes, including the neighborhoods of Highland Cove and Gateway North, located to the east and west of the complex, many of which were also built in the 1970s. The complex is separated from

these other areas by a wooden fence in all directions, as well as a natural border to the east that prevents any view of the nearby homes.



In summary, there has been little if any change in this stable area for quite some time.

II. The Continued Operation of the Complex at the Current Density Would not be Contrary to Public Health, Safety and Welfare or the Spirit of the Ordinance

Significantly, Lakeshore Landing is an apartment complex located in an area that has always been zoned for apartment complexes and continues to be zoned for such uses. Applicant believes that the continued operation of Lakeshore Landing at its current density (19.4 units/acre) – as opposed to the density requirements of the new ordinance (10 units/acre) – is certainly not contrary to the public health, safety and welfare of the citizens of Ridgeland or the spirit of the ordinance.

With respect to public safety, there has never existed a tangible safety concern during the life of the complex. Given the secluded nature of the complex, and the way it is laid out, there is little opportunity for drive through traffic at this facility (and any associated opportunistic criminal acts).

With respect to public health and welfare, there has never existed an unsafe or unsanitary condition on the property. A review of the City's inspection files on this property demonstrate a very good maintenance history. Indeed, there is only a single warning, in 2013, to unclog a storm drain located between the tennis courts and one of the buildings. It was resolved without any further action needed by the City. That is a remarkable record for a 40 year old facility.

Moreover, in the years since annexation, the complex has spent more than \$1,000,000 in renovations to the property. This too demonstrates a level of commitment to maintain the property in a prudent and responsible way.

City of Ridgeland
Code Enforcement Division
304 Highway 51 • P.O. Box 217 • Ridgeland, MS 39157 • 601-856-3877

COURTESY WARNING

Date: 2/13/13 Time: 9:40 a.m./p.m.

Location: Lakeshore Landing Apartments - 2144 Lakeshore Dr.

The City of Ridgeland Code Enforcement Division is committed to working together with you to provide a safe and attractive community. In order to meet this goal, the following items must be brought into compliance with the City of Ridgeland code:

- Please unplug/fix the storm drain that is located between the tennis courts & building 19-20. Water is backing up and causing erosion along the back of the property.

* Citations will be issued in two weeks if the violation(s) have not been resolved.

Please correct the violation(s) within 14 days from date of issuance

We would like to thank you in advance for helping keep Ridgeland safe and attractive. If you have any questions, please call:

Officer: [Signature]
601-856-3877

☐ Posted

☒ Hand served

☐ Mailed

Any person directly affected by a decision of the code official or a notice or order issued under this code shall have the right to appeal to the Board of Aldermen, provided that a written application for appeal is filed within 20 days after the day the decision, notice or order was served. An application for appeal shall be based on a claim that the true intent of this code or the rules legally adopted there under have been incorrectly interpreted, the provisions of this code do not fully apply, or the requirements of this code are adequately satisfied by other means.

PLEASE KEEP POSTED ON SITE AT ALL TIMES

CITY OF RIDGELAND

PERMIT No 6577

ISSUED TO: LAKESHORE LANDING APARTMENTS (OWNER)

For the
____ erection or construction
____ excavation or site work
XXX repair or alteration
____ moving
____ Other: _____

Of a structure or facility:
____ one or two-family dwelling
XXX multi-family complex dwelling
____ commercial structure
____ other: _____

Located at: 2144 LAKESHORE DRIVE BLDGS. 1&2

Contractor: MICHAEL BANKSTON (Name)
or
Builder : 214-7882 (Phone Number)

Date Issued: 01-14- 20 02 _____
Official Issuing Permit

INSPECTION RECORD

(For Use of Building Official)

Site work	_____	Reinspection	_____	Charges	_____
Rough plumbing	_____	Reinspection	_____	Charges	_____
Foundation	_____	Reinspection	_____	Charges	_____
Electrical	_____				
and Framing	_____	Reinspection	_____	Charges	_____
Final	_____	Other Charges:	_____		

TO: City Clerk

Final inspection having been made, and approved, you may issue
certificate of occupancy upon payment of charges in the total amount of
\$ _____

Date: _____, 20 _____
Building Official

PLEASE KEEP POSTED ON SITE AT ALL TIMES

CITY OF RIDGELAND

PERMIT No 6654

ISSUED TO: LAKESHORE LANDING APARTMENTS (OWNER)

For the

☐ erection or construction
☐ excavation or site work
☐ repair or alteration
☐ moving

☒ Other: _____

Of a structure or facility:

☐ one or two-family dwelling
☒ multi-family complex dwelling
☐ commercial structure
☐ other: _____

Located at: 2144 LAKESHORE LANDING

Contractor: JAY CONSTRUCTION COMPANY (Name)

or
Builder: 615-612-2420 (Phone Number)

Date Issued: 03-26- 2002

Official Issuing Permit

INSPECTION RECORD

(For Use of Building Official)

Site work	_____	Reinspection	_____	Charges	_____
Rough plumbing	_____	Reinspection	_____	Charges	_____
Foundation	_____	Reinspection	_____	Charges	_____
Electrical	_____				
and Framing	_____	Reinspection	_____	Charges	_____
Final	_____	Other Charges:	_____		

TO: City Clerk

Final inspection having been made, and approved, you may issue certificate of occupancy upon payment of charges in the total amount of \$ _____

Date: _____, 20____

Building Official

CITY OF RIDGELAND
Post Office Box 217
RIDGELAND, MISSISSIPPI 39158

Permit # 6654

NAME Lakeshore Landing Apartments

ADDRESS 2144 Lakeshore Landing

DATE 3-26-2002

Building Permit Fee	\$ _____
Inspection Fee	\$ _____
Water Tie-On Fee	\$ _____
Water Tie-On Fee Tax (Commercial Only)	\$ _____
Water Tap Fee	\$ _____
Water Tap Fee Tax (Commercial Only)	\$ _____
Sewer Tie-On Fee	\$ _____
Sewer Tap Fee	\$ _____
Water Base Charge	\$ _____
Water Base Charge Tax (Commercial Only)	\$ _____
Sewer Base Charge	\$ _____
Traffic Impact Fee	\$ _____
Other: <u>Demolition</u>	\$ <u>25.00</u>
LESS: FILING FEE	\$ _____
Total Fees to be collected by Clerk:	\$ <u>25.00</u>

No 9273

Q. Knight

IF COMMERCIAL: CONTR. ORS MATERIAL PURCHASE CERTIFICATE

TAX PARCEL NO. _____ PERMIT NO. 6654 DATE: 03-26-2002

City of Ridgeland

APPLICATION FOR BUILDING PERMIT

Type of Permit:

- ☐ A. Erection or Construction
☐ B. Repair or Alteration
☐ C. Excavation or Site Work
☒ D. Moving
☒ E. Demolition or Razing

Type of Structure:

- ☐ New Residential Housekeeping Buildings
☐ 101 Single-family house, detached
☐ 102 Single-family house, attached
☐ 103 Two-family building
☐ 104 Three- and four-family building
☐ 105 Five-or-more family building
☐ New Residential Nonhousekeeping Buildings
☐ 213 Hotels, motels, and tourist cabins
☐ 214 Other nonhousekeeping shelter
☐ New Nonresidential Buildings
☐ 318 Amusement, social, and recreational
☐ 319 Churches and other religious
☐ 320 Industrial
☐ 321 Parking garages
☐ 322 Service stations and repair garages
☐ 323 Hospitals and institutional
☐ 324 Offices, banks, and professional
☐ 325 Public works and utilities
☐ 326 Schools and other educational
☐ 327 Stores and customer services
☐ 328 Other nonresidential buildings
☐ 329 Structures other than buildings
☐ Additions, Alterations, and Conversions
☐ 434 Residential (except garages and carports)
☐ 437 Nonresidential and nonhousekeeping
☐ 438 Additions of garages and carports
☐ Demolitions and Razing of Buildings
☐ 645 Single family houses (attached or detached)
☐ 646 Two-family buildings
☐ 647 Three- and four-family buildings
☒ 648 Five-or-more family buildings
☐ 649 All other buildings and structures

Location:

Street Address 2144 Lakeshore Dr
 Lot No. _____ Block _____ Subdivision Lakeshore Landing Apts.
 Square footage: N/A Current zoning R-5A
 Number of residential units 2 Sewer Tap Needed? N/A
 Water meter size 1/2" 150 GPM Water tap size N/A

Cost of Construction 160,000.00

If Commercial:

No. electrical outlets _____ No. Plumbing fixtures _____
 No. Parking spaces _____

Location in Floodplain:

- ☒ A. Inside regulatory floodway limits
☒ B. Outside floodway limits in 100 year floodplain but outside of floodway
☐ C. Inside 100 year floodplain - no regulatory floodway established
 Flood Insurance Rate Map Panel Number _____ Rate zone _____
 Proposed lowest floor elevation _____ Actual lowest floor elevation _____
 Required lowest flood elevation _____ (Map + 1 foot)
 Base flood elevation (Map) _____

OWNER'S NAME AND ADDRESS:

Mid-America Apartment Communities
8584 Poplar Ave 340
Memphis, TN 38138

Phone No. 901 642-6668

CONTRACTOR'S NAME AND ADDRESS:

JAY CONSTRUCTION COMPANY
1209 Northgate Business Pl
Suite 1
Madison, TN 37115

Phone No. 615-612-2420

SUBCONTRACTOR'S NAME:

Electrical N/A
 Plumbing N/A
 Mechanical N/A

PHONE NO.

I hereby certify that I am the owner, or the owner's agent for the purpose of applying for this permit; and the information set forth above is true and correct and the same may be utilized for all purposes, including tax assessment and levy. I understand that the building permit issued pursuant to this application is valid for six months after date of issuance.

Mark A. McCollum
 Signature - Owner, Contractor, or Agent

Mark A. McCollum
 Printed or typed name of person signing

APPROVAL OF PERMIT:

J.M. McCollum Date _____

FEES AND CHARGES ESTABLISHED IN CONNECTION WITH THIS PERMIT ARE AS FOLLOWS:

Building Permit Fee	0.00
Inspection Fee	0.00
Water Tie-On Fee	0.00
Water Tie-On Fee Tax	0.00
Water Tap Fee	0.00
Water Tap Fee Tax	0.00
Sewer Tie-On Fee	0.00
Sewer Tap Fee	0.00
Water Base Charge	0.00
Water Base Charge Tax	0.00
Sewer Base Charge	0.00
Traffic Impact Fee	0.00
Other	25.00
Less Filing Fee	0.00

=====

Total Fees to be Collected by Clerk: 25.00

Any additional charges resulting from re-inspections, damages to curbs, water meters, boxes, and professional review fees, etc., will be assessed and due at the time of issuance of Certificat of Occupany.

Date: March 26, 2002

D. Wright
Signature of Officer Setting Fees

APPROVAL OF PERMIT

TO: CITY CLERK

Having examined this Application and reviewed the plans and specifications submitted in connection therewith, such have been found to be in proper order and in compliance with the ordinances of the City of Ridgeland, and the applicant is entitled to have the permit issued upon the payment of the required fees.

Date: March 26, 2002

Signature of Officer

CITY CLERK'S ACTION IN ISSUANCE OF PERMIT

PERMIT NUMBER ISSUED, this the 26th day of March, 2002,
and total fees and charges in the amount of \$ 25.00 received this date.

D. Wright
Clerk

Certificate of Occupancy

ALKESHORE LANDING APARTMENTS

Department of Community Development Building Inspections Division

This Certificate issued pursuant to the requirements of the Standard Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the Jurisdiction regulating building construction or use. For the following:

Use Classification Multi-Family Residential Bldg. Permits No. 6713
Group R Type Construction VI Fire District N/A
Owner of Building Lakeshore Landing Apartments
Building Address 2144 Lakeshore Drive Locality Ridgeland, Mississippi
By: Chris Ramsey
John M. McCollum Date: June 13, 2002
Building Official

POST IN A CONSPICUOUS PLACE

RESPONSE TO QUESTION NO. 17

The Continued Operation of the Complex at the Current Density Would not Depress – Let Alone “Significantly Depress” – the Values of Adjacent Properties

The question posed by this section is whether the continued operation of Lakeshore Landing at the density of 19.4 units per acre – versus 10 units per acre – would “significantly depress” the value of nearby properties. Applicant denies that operation of Lakeshore Landing at the additional density (9.4 units per acre) depresses the value of nearby properties.

As described in more detail in response to question number 16, Lakeshore Landing is located in an area of Ridgeland that has changed very little in recent years. It is bordered by two other apartment complexes and homes (mostly built in the 1970s) that sell for \$113,000 (mean) and \$115,000 (median). The continued operation of Lakeshore Landing has little effect, let alone a detrimental effect, on the two identical “uses” (*i.e.*, the apartment complexes that border it) and on homes within this price range (which range is the same as approximately 40% of all Ridgeland homes) that are for the most part similar in age to the complex. Indeed, it is the specific opinion of Appraiser Tracy Wofford (*see* attached opinion letter for more detail) that Lakeshore Landing does not negatively influence or significantly depress the market value of surrounding properties.

Wofford Consulting, LLC

Real Estate Services

P. O. Box 3041
Madison, MS 39130-3041

July 28, 2014

Robert B. Ireland, III, Esquire
Watkins & Eager, PLLC
P. O. Box 650
Jackson, MS 39206

RE: City of Ridgeland Class A Designation Petition
Lakeshore Landing
2144 Lakeshore Drive
Ridgeland, MS 39157

This letter is in response to your inquiry as to whether or not the referenced multifamily community significantly depresses the surrounding property values. I offer the following impartial and objective comments regarding the Lakeshore Landing multifamily community. I graduated with a Bachelor's of Science Degree in Accounting from Mississippi State University in 1979. I have been appraising commercial and special use properties throughout Mississippi for 15 years. I am a MS Certified Appraiser and hold a MAI Designation from the Appraisal Institute. I have more than exceeded my continuing education requirements. Over the past 15 years, I have been involved in over 500 commercial property valuations of which approximately 50 have been multifamily communities. My extensive training and vast experience prepare me to be offer an unbiased prospective. My opinion is primarily based on four points discussed herein.

Lakeshore Landing Apartments are tucked away on the north side of Lake Harbour Drive, east of Old Canton Road and west of Harbour Drive. The neighboring properties are:

- ◆ North: The Legacy and the Pointe of Ridgeland multifamily communities
- ◆ South: A veterinary clinic, a special use property and Lake Harbour
- ◆ East: Single family residential
- ◆ West: Single family residential and restaurants including Shae's and Buffalo Wild Wings

Household Income: The first point is the market data indicates that the apartment community residents' household income is generally consistent with single family residents in the same market. Approximately 10 houses from the subject market sold within the past 12 months. The market boundaries are considered to be Rice Road to the north to Lake Harbour Drive to the south and Old Canton Road to the west and Harbour Road to the east.

- ◆ Similar to the subject's 1974 construction date, these single family homes were constructed between 1975 and 1999.
- ◆ The properties are predominantly 2 bedroom/2 bath and 3 bedroom/2 bath homes.

Robert B. Ireland, III, Esquire
July 28, 2014

- ◆ The sale prices range from a low of \$53,000 to a high of \$170,000 with a \$113,100 mean and \$115,000 median. Forty percent (40%) of the City of Ridgeland owner occupied housing units fall within this price range.
- ◆ FHA requires a 3.5% down payment. Assuming the financing of a \$115,000 home is 96.5%, the principal is \$110,975.
- ◆ According to the Wall Street Journal Market Data the interest rate as of the July 7, 2014 close for a 30 year mortgage is 4.33%.
 - ✓ The total single family residential housing outlay is approximately \$806/month (\$9,672 annually).
 - ✓ The monthly payment based on current lending terms is \$551 (\$6,614 annually).
 - ✓ Ad valorem taxes equal \$155 / month
 $\$115,000 \times 15\% = \$17,250$
 $\$17,250 \div 1,000 \times 107.76 \text{ millage rate} = \$1,859$
 $\$1,859 \div 12 \text{ months} = \154.92
 - ✓ Insurance is estimated to be \$1,200 annually or \$100 / month.
- ◆ The advertised Lakeshore Landing rental rate:
 - ✓ 2 bedroom/2 bath unit is between \$775 (\$9,300 annually) and \$990 (\$11,880 annually)
 - ✓ 3 bedroom/2 bath unit is between \$945/month (\$11,340 annually) to \$1,140/month (\$13,680 annually).
- ◆ According to CCIM Site To Do Business, housing is the largest household budget expenditure accounting for 31.7% of the total budget.
- ◆ The indicated annual income required to support housing expenditure based on 31.7% of the household budget:
 - ✓ Lakeshore Landing Apartment
 $(\$775/\text{month} \times 12 \text{ months}) \div 0.317 = \$29,338 \text{ rounded to } \$30,000$
 $(\$990/\text{month} \times 12 \text{ months}) \div 0.317 = \$37,476, \text{ rounded to } \$40,000$
 $(\$945/\text{month} \times 12 \text{ months}) \div 0.317 = \$35,773, \text{ rounded to } \$40,000$
 $(\$1,140/\text{month} \times 12 \text{ months}) \div 0.317 = \$43,155, \text{ rounded to } \$45,000$
 - ✓ Neighborhood single family residential
 $(\$806 \times 12 \text{ months}) \div 0.317 = \$30,511, \text{ rounded to } \$30,000$
- ◆ In conclusion, the annual income of Lake Shore residents is potentially equal to or up to 50% higher than single family home owners in the neighboring subdivisions.

Lower Economic Base: The second point is reducing the 194 units (19.4 units per acre) to 100 units (10 units per acre) will reduce the economic base. There will be fewer people purchasing gas or coffee or getting their car washed at the neighboring Cappy's Valero C-Store, shopping at the Walgreens or recently opened Kroger grocery store, eating at the nearby Wendy's, Dairy Queen or Apple B's. It is likely these businesses made their site selection based on neighborhood demographics, specifically the high density. This potentially translates further to lower sales taxes and car tags, i.e. less revenue to the City of Ridgeland as these apartment dwellers will move to multifamily communities in competing markets.

Robert B. Ireland, III, Esquire
July 28, 2014

Location: The Lakeshore Landing Apartment community is effectively laid out with sufficient green space. Since this community is tucked away from the main thoroughfare, it is challenging to identify an alternative use since it does not have ready visibility. This site would be less desirable to an intense commercial use that requires good visibility and ready access. So there is no evidence, the market value would increase. Demolishing a portion of the existing improvements will not necessarily improve the overall property appeal or desirability.

Stable Market: A neighborhood's life cycle encompasses 4 phases – development, stability, decline and revitalization. The immediate area has seen little change in the recent past and is deemed to be in a stable phase. There are still vacant sites in the immediate proximity to be developed which indicates site supply exceeds demand at this time. The existing subject property is feasible and productive; thereby it appears to be the highest and best use of the site and has not reached the end of its economic life.

These four points demonstrate the Lakeshore Landing multifamily Community does not negatively influence, let alone significantly depress, the surrounding market values at this time. Please feel free to contact me if you have any questions or I can be of further assistance.

Regards,

A handwritten signature in blue ink that reads "Tracy K. Wofford, MAI". The signature is fluid and cursive, with the initials "MAI" clearly visible at the end.

Tracy K. Wofford, MAI

RESPONSE TO QUESTION NO. 18

Lakeshore Landing (formerly Gazebo Apartments) was built in 1974, before this area of Madison County had been annexed by the City of Ridgeland. *See, e.g.,* Letter dated 10/31/90. The Complex was lawful when built (*i.e.*, “at its inception”) because the County did not have any density or other pertinent requirements – let alone any contrary ones – at that time. Incidentally, the version of Ridgeland’s zoning ordinance then in effect (1973 version) similarly did not contain any density requirements in its highest residential classification.

After annexation, the City recognized in 1990 and 1991 that the complex was a permitted use in the then-applicable R-3 zone. *See* Zoning Certification dated 10/29/91; HUD letter dated 10/24/90. Extensive (\$840,000) renovations were made with City approval in 1991. Then, in 1994, the City again recognized the complex was a permitted use after the property was re-zoned R-5A. *See* Letter dated 2/2/94.

As set forth above, Lakeshore Landing was lawful when built. It would serve no useful purpose to require strict application of the density requirements of the new 2014 ordinance. Indeed, Lakeshore Landing has been permitted to operate at a density of 19.4 units per acre (196 apartments on 10.078 acres) for 40 years. Requiring strict application of the ordinance would force the owners of the complex to demolish (or otherwise address) 94 out of 196 apartments (which is almost half of the apartments in this complex). Such a result would serve no useful purpose in the light of the dramatic and unwarranted usurpation of the owners’ investment-based expectations in this complex.

TRI
CAPITAL
CORPORATION

100 Pine Street, 23rd Floor
San Francisco, CA 94111-5102
415 989 9000 • FAX 415 989 0329

October 24, 1990



Lender

to

the

Multi Housing

Industry

RE: The Gazebo Apartments
2144 Lakeshore Drive
Ridgeland, Mississippi

Dear Sir or Madam:

Associate

Officers

Nationwide

TRI Capital Corporation (TRI) is processing a loan application for the subject property pursuant to Section 223(f) coinsurance of the U.S. Department of Housing and Urban Development (HUD). As a proposed lender for the property, we require a copy of the Certificate of Occupancy showing the completion date for construction, or if such certificates have not been issued, a copy of the building permit. If neither document is available, please send us a letter to this effect.

Should there be any questions or problems, please let us know. I look forward to hearing from you soon.

Sincerely,

TRI CAPITAL CORPORATION

Joan Loper
Assistant Vice President

JL:ls

cc: Ron Wilkinson

TRI
CAPITAL
CORPORATION

100 Pine Street, 23rd Floor
San Francisco, CA 94111-5102
415 989 9000 • FAX 415 989 0129

October 24, 1990



RE: The Gazebo Apartments
2144 Lakeshore Drive
Ridgeland, Mississippi

Dear Sir or Madam:

Lender
to
the
Multi-Housing
Industry

Associate
Offices
Nationwide

TRI Capital Corporation (TRI) is processing a loan application for the subject property pursuant to Section 223(f) coinsurance of the U.S. Department of Housing and Urban Development (HUD). As a proposed lender for the property, we require certification that no building violations are on record with your office at this time. Please certify to this by executing in the space below and returning to the undersigned as soon as possible. If there are violations currently on record, please send copies of the violations to us.

Sincerely,

TRI CAPITAL CORPORATION

Joan Loper

Joan Loper
Assistant Vice President

cc: Ron Wilkinson

(Do not detach.)

I certify that there are no violations on record:

I certify that there are outstanding code violations on record and have enclosed copies of said violations:

By: _____

By: *JEMORE*

Title: _____

Title: *BUILDING OFFICIAL*

Date: _____

Date: *10/29/90*

TRI
CAPITAL
CORPORATION

100 Pine Street, 23rd Floor
San Francisco, CA 94111-5102
415.989.9000 • FAX 415.989.0329

October 24, 1990



Lender

to

the

Multi-Housing

Industry

RE: The Gazebo Apartments
2144 Lakeshore Drive
Ridgeland, Mississippi

Associate

Officers

Nationwide

Dear Sir or Madam:

TRI Capital Corporation (TRI) is processing a loan application for the subject property pursuant to Section 223(f) coinsurance of the U.S. Department of Housing and Urban Development (HUD). As part of loan submission, TRI requires that a zoning verification be evidenced by the proper jurisdiction.

We hereby request your cooperation in determining the following:

1. Zoning Designation: R-3
2. Permitted Use: Multi-Family
3. Legal Conforming: ✓
4. Legal Non-Conforming: _____

In the event this is a legal non-conforming use project, please indicate below to what extent the property could be rebuilt in the event of major destruction: _____

TRI

October 24, 1990
Page Two

Additionally, please provide ⁷us, along with this letter, a copy of the applicable zoning map. A copy of the legal description is attached to assist you in your confirmation. *NOT AVAILABLE*

The closing of this loan is scheduled for the near future, and we must be in receipt of this information prior to that time, so we would appreciate your immediate attention to this matter.



Thank you for your assistance and cooperation. Should you have any questions, please feel free to contact me at (415) 989-9000. I look forward to hearing from you soon.

Sincerely,

TRI CAPITAL CORPORATION

Joan Loper

Joan Loper
Assistant Vice President

JL:ls
enclosure

cc: Ron Wilkinson

ACKNOWLEDGEMENT:

By: *J. E. Moore*

Title: *Building Official*

City of Ridgeland, Department of Planning and Zoning

PROPER ZONING CERTIFICATION

The undersigned official does hereby certify to Arlington Properties as to the following:

Re: Gazebo Apartments
2144 Lakeshore Drive
Ridgeland, Mississippi

- (1) That the property is located in the R-3 zoning district as provided in the Zoning Ordinance Code of Ridgeland, MS., Mississippi.
- ★ (2) All use of the Property comply with all applicable provisions of the code and do not violate any current applicable zoning or occupancy ordinance, resolution, or regulation of _____, Mississippi.
- (3) That no action of proceeding is pending before any court or administration agency with respect to the zoning of the property or any improvements located thereon.
- (4) That the attached hereto are true copies all applicable ordinances, variances, resolutions, or regulations relating to the zoning and the use of the property.

10/19/91
(date)

J E MOORE
(official)
BUILDING OFFICIAL
(title)

★ There are certain violations of code that we have addressed with the new owner that will be taken care of in the remodeling process.



CITY OF RIDGELAND

MAYOR
Gene F. McGee

October 31, 1990

Ms. Joan Loper
Assistant Vice President
100 Pine Street, 23rd Floor
San Francisco, California 94111-5102

Dear Ms. Loper:

No Building Permit or Certificate of Occupancy has been issued from this office due to the fact that The Gazebo Apartments at 2144 Lakeshore Drive, Ridgeland, Mississippi, were built outside the current city limits before annexation.

If further information is needed please feel free to call on me.

Sincerely,

CITY OF RIDGELAND

Jerry Moore
Building Official

JM/kk

cc: Ron Wilkinson

**BOARD OF
ALDERMEN**

WARD 1
Harvey Carr, Jr.
Mayor Pro Tempore

WARD 2
Brian Barcellona

WARD 3
Al Bible

WARD 4
Linda Davis

AT LARGE
Daryl Smith

PLIT NO. 2097

DATE: November 6, 1991

9. The property is currently zoned: R-3

-FOR OFFICE USE-

Application received and filed: _____, 19__

Filing Fee Paid in the amount of: \$ _____ Received By: _____

(Schedule of filing fees: \$ 50.00 for one or two-family residence
\$100.00 for commercial or multi-family complex
\$ 10.00 for all others)

(To Be Completed by Department of Public Works)

FEEES AND CHARGES ESTABLISHED IN CONNECTION WITH THIS PERMIT ARE AS FOLLOWS:

Building Permit Fee -	\$ 1,680.00
Inspection Fee	\$ 550.00
Water Tie-On Fee	\$ _____
Water Tie-On Fee Tax (Commercial Only)	\$ _____
Water Tap Fee	\$ _____
Water Tap Fee Tax (Commercial Only)	\$ _____
Sewer Tie-On Fee	\$ _____
Sewer Tap Fee	\$ _____
Water Base Charge	\$ _____
Water Base Charge Tax (Commercial Only)	\$ _____
Sewer Base Charge	\$ _____
Traffic Impact Fee	\$ _____
Other: _____	\$ _____
LESS: FILING FEE	\$ _____
Total Fees to be collected by Clerk:	\$ 2,230.00

*Any additional charges resulting from re-inspections, damages to curbs, water meters, boxes, and professional review fees, etc. will be assessed and due at the time of issuance of Certificate of Occupancy.

Date: November 6, 1991

D. Doughty
Signature of Officer Setting Fees

APPROVAL OF PERMIT

TO: CITY CLERK

Having examined this Application and reviewed the plans and specifications submitted in connection therewith, such have been found to be in proper order and in compliance with the ordinances of the City of Ridgeland, and the applicant is entitled to have the permit issued upon the payment of the required fees.

November 6, 1991

Signature of Officer

DISAPPROVAL OF PERMIT

TO: CITY CLERK

Having examined this application and reviewed the plans and specifications submitted in connection therewith, it has been found and determined that the activity for which the permit is sought is not in compliance with the ordinances and regulations and requirements of the City of Ridgeland, and the application should not be approved, and the permit should not be issued for the following reasons:

_____, 19__

Signature of Officer

CITY CLERK'S ACTION IN ISSUANCE OF PERMIT

PERMIT NUMBER ISSUED, this the 8th day of November, 1991,
and total fees and charges in the amount of \$2,230.00 received this date.

Clark
Clerk



CITY OF RIDGELAND

MAYOR
Gene F. McGee

CITY CLERK
Michael R. McPhearson

January 27, 1992

**BOARD OF
ALDERMEN**
WARD 1
Harvey Carr, Jr.
Mayor Pro Tempore
WARD 2
Brian Barcellona
WARD 3
Al Bible
WARD 4
Linda Davis
AT LARGE
Daryl Smith

Mr. Frank Nix
Jackson Associates
c/o Arlington Properties, Inc.
Post Office Box 12767
Birmingham, Alabama 35202-2767

Re: Lakeshore Landing Apartments

Dear Mr. Nix:

The Gazebo Apartment which have been changed to Lakeshore Landing Apartments by your company were built in 1974 which was prior to any zoning or set back restrictions. The construction of the tennis courts and maintenance building inside the 35 foot set back line is not in violation due to the fact the construction was before current regulations went into effect. A variance is not required by the City of Ridgeland.

Sincerely,

Jerry Moore
Building Official

JM/wc

MAYOR
Gene F. McGee

CITY CLERK
Michael R. McPhearson

THE CITY OF

RIDGELAND

**BOARD OF
ALDERMEN**

Harvey Carr, Jr., Ward 1
Daryl Smith, Ward 2
Brian Barcellona, Ward 3
Al Bible, Ward 4
R. Joseph Barlow, Ward 5
Linda Davis, Ward 6
Chuck Kobert, At-Large
Mayor Pro Tempore

February 2, 1994

Mr. Richard W. Dortch
Brunini, Grantham, Grower & Hewes
Attorneys at Law
Post Office Drawer 119
Jackson, Mississippi 39205

Re: Lakeshore Landing Apartments
2144 Lakeshore Drive
Ridgeland, Mississippi 39157

In response to your letter dated January 31, 1994, please be advised of the following:

The property on which the Lakeshore Landing Apartments are constructed is zoned R-5A Multifamily Residential District, which permits multi-family residential apartments subject only to the use restrictions generally applicable to that classification which are contained in the City of Ridgeland Zoning Ordinance. A copy of the section of that ordinance applicable to the Property is enclosed.

The current use of the Property as multi-family residential apartments is a permitted use under the City of Ridgeland Zoning Ordinance without the necessity of any rezoning, special exception, use permit or violation.

Also, a new Certificate of Occupancy is not required upon transfer of title to the property and no additional permits or licenses will be required upon transfer of ownership.

Mr. Richard W. Dortch
February 2, 1994
Page Two (2)

These buildings were constructed prior to annexation of the area by the City of Ridgeland. These structures were neither permitted nor inspected by the City of Ridgeland code enforcement officials. However, the captioned buildings and improvements are recognized as existing buildings under the applicable provisions of the Standard Building Code and the Standard Existing Building Code. According to the City of Ridgeland building and inspection department records, the structures on this property are recognized as existing buildings, which may continue their existing use provided such buildings are maintained in a safe and a sanitary condition. According to our records, these building are not in violation of the building code at this time.

In preparing and submitting this report, please be aware that we relied upon existing public records of the City of Ridgeland, Mississippi. We did not conduct an inspection of the premises or structures. This letter shall not be construed as a warranty of the physical conditions of such buildings, property or the construction plans. Neither the City of Ridgeland nor its employees or officials shall be liable for damages for any defect or hazardous or illegal condition in such buildings, property or plans, or for any failure of any component of such buildings.

Should you have any questions or need additional information, please do not hesitate to call on us.

Sincerely,

CITY OF RIDGELAND



Ben R. Mays, C.E.T.
Inspector/Technician

BRM/kk

Enclosure

SPECIAL WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which are hereby acknowledged, **JACKSON ASSOCIATES, LTD.**, an Alabama limited partnership ("**Grantor**"), acting by and through Frank A. Nix as its managing general partner, does hereby sell, convey and warrant specially unto **MID-AMERICA APARTMENTS, L.P.**, a Tennessee limited partnership ("**Grantee**"), the land, property and improvements thereon situated in the City of Ridgeland, Madison County, Mississippi, described as follows:

Being situated in the SW/4 of Section 28, Township 7 North, Range 2 East, Madison County, Mississippi, and being more particularly described as follows:

Commence at the SW corner of Section 28, Township 7 North, Range 2 East, and run thence East 1528.22 feet; run thence North 132.68 feet to the SE corner of Lot 27 of Gateway North, Part II, as recorded in Plat Book 5 at page 45 of the Chancery Records of Madison County, Mississippi, and the Point of Beginning for the property herein described; run thence South 89 degrees 27 minutes East along the North boundary of the Mt. Charity Church property 560.27 feet to an iron bar marking the NE corner thereof; run thence South 21 degrees 00 minutes West along the East boundary of said church property 139.54 feet; run thence North 89 degrees 36 minutes East 187.98 feet; run thence North 2 degrees 15 minutes 30 seconds East 737.89 feet; run thence North 89 degrees 27 minutes West 726.88 feet to the East boundary of Lot 23 of said Gateway North, Part II; run thence South 19 degrees 19 minutes East along the East boundary of said Lot 23 39.22 feet to an iron pin marking the NE corner of Lot 24; run thence South 12 degrees 10 minutes East along the East boundary of Lot 24 115.05 feet to an iron pin marking the NE corner of Lot 25; run thence South 12 degrees 10 minutes 30 seconds East along the East boundary of Lot 25 119.06 feet to an iron pin marking the NE corner of Lot 26; run thence South 3 degrees 56 minutes East along the East boundary of Lot 26 139.94 feet to an iron pin

EX. A

marking the SE corner thereof; run thence south 1 degree 24 minutes West along the East right-of-way line of Lake Shore Drive 60 feet to an iron pin; run thence North 89 degrees 27 minutes West along the south right-of-way line of said Lake Shore Drive 80.00 feet to the NE corner of Lot 27 of said Gateway North, Part II; run thence South 3 degrees 34 minutes 30 seconds East along the East boundary of said Lot 27 145.56 feet to the point of Beginning.

This being the same property conveyed to Freeman Diversified Real Estate I, L.P., a Delaware limited partnership by Deed from Sky Harbor Associates, Ltd., of record in Book 195 at page 260 in the office of the Chancery Clerk of Madison County, Mississippi.

It is the intent of Grantor to convey, and Grantor does hereby convey to Grantee the above-described land and improvements commonly referred to as the Lakeshore Landing Apartments together with all related property and facilities including, without limitation, all of Grantor's right, title and interest in and to any land and property Grantor may own which is contiguous to the above-described property and all of Grantor's right, title and interest in and to any streets, alleys, easements and rights-of-way adjoining or abutting such property and used or useful in connection therewith. Without limitation on the foregoing, Grantor does hereby sell and convey unto Grantee all of the Grantor's right, title and interest in and to certain easements for ingress and egress to and from the subject property from Charity Church Road which easements are described as (a) Easement dated December 27, 1973, from Robert B. Reisinger, et al, d/b/a Skyline Developers, to James E. Warwick, et al, recorded in the office of the Chancery Clerk of Madison County, Mississippi, in Book 133 at

page 982 and (b) Easement dated April 24, 1974, from Lakeview Estates, Inc., to James E. Warwick, et al, which is recorded in the office of the aforesaid Chancery Clerk in Book 135 at page 445.

Grantor warrants and covenants for itself and its successors that it will forever warrant and defend the title of the property unto the Grantee and its successors and assigns against the claims of all persons claiming by, through or under the Grantor. This deed is made with full substitution and subrogation of the Grantee in and to all covenants and warranties by others heretofore given or made with respect to the property or any part thereof.

The above-described property is conveyed subject to the following matters which are excepted from the warranty of this conveyance (all recording information refers to the land records in the office of the Chancery Clerk of Madison County, Mississippi):

(a) Property taxes for the year 1994.

(b) Right-of-way granted to Mississippi Valley Gas Company recorded in Book 95 at page 457 as amended by Release and Disclaimer recorded in Book 133 at page 646.

(c) Easement to the City of Ridgeland for water mains and other appurtenances recorded in Book 133 at page 644 as corrected by instrument recorded in Book 159 at page 765.

(d) Permissive Easement Agreement executed by Sky Harbour Associates, Ltd. to Charles C. Clark, et al, recorded in Book 160 at page 312.

(e) Except for any right vested in third parties and created by Easement dated December 27, 1973, from Robert B. Reisinger, et al, d/b/a Skyline Developers, to James E. Warwick, et al, recorded in the office of the Chancery Clerk of Madison County, Mississippi, in Book 133 at page 982.

(f) Rights of tenants in possession under those leases which are scheduled and listed as part of that certain Assignment of Leases of even date herewith executed by Grantor in favor of Grantee.

(g) All prior reservations and conveyances of minerals of every kind and character including, but not limited to, oil, gas, sand and gravel in, on and under the property hereby conveyed.

This deed is executed pursuant to that certain Contract for Sale of Real Estate having a final execution date of October 5,

1993. The covenants, representations, warranties and indemnities contained in such contract shall not be merged with or into this deed nor any other documents in conjunction herewith but rather shall survive the closing of the transaction and shall remain in full force and effect for a term of nine (9) months from and after the date of this deed.

Real estate taxes for the year 1994 have been prorated between Grantor and Grantee as of this date based on the amount of such taxes for the year 1993. The parties agree to a final tax adjustment after the amount of taxes for 1994 has been finally determined, and Grantor shall pay to or be reimbursed by Grantee the amount of such adjustment if the tax amount for 1994 is more or less than the amount for the previous year.

EXECUTED on the 2nd day of Feb., 1994.

JACKSON ASSOCIATES, LTD.

By:

Frank A. Nix
FRANK A. NIX
Managing General partner

STATE OF ALABAMA)
COUNTY OF JEFFERSON)

Personally appeared before me, the undersigned authority in and for the said county and state, on this 2nd day of February, 1994, within my jurisdiction, the within named FRANK A. NIX, who acknowledged that he is Managing General partner of Jackson Associates, Ltd., an Alabama limited partnership, and that for and on behalf of the said limited partnership, and as its act and deed

he executed the above and foregoing instrument, after first having been duly authorized by said limited partnership so to do.

Gavin R. Poole
NOTARY PUBLIC

My Commission Expires:

NOV 20 1993

Names and addresses of the parties:

Jackson Associates, Ltd.
Arlington Properties
2117 Second Avenue North
Birmingham, Alabama 35203
Telephone: 205/328-9600

Mid-America Apartments, L.P.
The Gates Company
6584 Poplar Avenue, Suite 340
Memphis, Tennessee 38138
Telephone: 901-756-6300

Indexing instruction:

The property described in this instrument is located in the SE/4 of the SW/4 of Section 28, Township 7 North, Range 2 East, Madison County, Mississippi.

This instrument prepared by:

Richard w. Dortch of
Brunini, Grantham, Grower & Hewes
1400 Trustmark Building
248 East Capitol Street
Jackson, Mississippi 39201
Telephone: 601/948-3101

0062\0018



STATE OF MISSISSIPPI, COUNTY OF MADISON:

I certify that the within instrument was filed for record in my office this 4 day of Feb, 19 94, at 4:00 o'clock P M., and was duly recorded on the FEB 04 1994, Book No. 330, Page 546.

STEVE DUNCAN, CHANCERY CLERK

BY: [Signature] D.C.

Lake Shore Landing

INDEXING INSTRUCTIONS: S33,
T7N, R2E, Madison County, MS

BOOK 0434 PAGE 781
272661

PREPARED BY:
WILLIAM E. HORN, Jr.
Taylor, Covington, & Smith
P. O. Box 3509
Jackson, MS 39207-3509
(601) 969-7817

BOOK 0440 PAGE 089

WARRANT SPECIALLY DEED

FOR AND IN CONSIDERATION of the sum of One Dollar (\$1.00), cash in hand paid; and other good and valuable considerations, the receipt and sufficiency of all of which is hereby acknowledged, I, H. POWER HEARN, JR., Grantor, do hereby sell and warrant specially unto MID-AMERICA APARTMENTS, L.P., A TENNESSEE LIMITED PARTNERSHIP, Grantee, the following described land and property lying and being situate in Madison County, State of Mississippi, to-wit:

Those certain two (2) parcels of land, Parcel One (1) containing 0.088 acres, more or less, and Parcel Two (2) containing 0.069 acres, more or less, said parcels being more particularly described on Exhibit "A" consisting of two pages, attached hereto, made a part hereof by reference, and signed for identification. A plat of each of said parcels is attached hereto as Exhibit "B".

It is agreed and understood that advalorem taxes for the current year have been prorated by and between the parties hereto on an estimated basis and when taxes are actually determined, if the proration is incorrect then Grantee agrees to contribute to Grantor any deficit on an actual proration; likewise Grantor agrees to reimburse Grantee for any over-payment on an actual proration. Grantor assumes the payment of said 1999 advalorem taxes.

Grantor excepts from the special warranty herein contained the terms and conditions of easement recorded in Book 87 at Page 374, Book 355 at Page 778, and Book 135 at Page 445, as the description therein made is corrected by document of record in Book 196 at Page 724. Grantor makes no warranty as to whether or not the west line of Parcel 1 and the west line of Parcel 2, coincide with or is co-terminus with the west line of the ingress and egress easement as the easement is described or conveyed by documents of record in Book 135 at Page 445 or in Book 355 at Page 778.

The above described and conveyed property is no part of the homestead of the undersigned Grantor.

WITNESS MY SIGNATURE, this the 13th day of January, 1999.

H. POWER HEARN, JR.

STATE OF MISSISSIPPI

COUNTY OF HINDS

PERSONALLY came and appeared before me, the undersigned authority in and for the said county and state, on this 13th day of January, 1999, within my jurisdiction, the within named H. POWER HEARN, JR., who acknowledged that he executed and delivered the above and foregoing instrument.

My Commission Expires:

MISSISSIPPI STATE NOTARY PUBLIC
MY COMMISSION EXPIRES MAY 12, 2002
BONDED THROUGH STATE NOTARY SERVICE

NOTARY PUBLIC



GRANTOR'S ADDRESS & PHONE NO.

P. O. Box 5305
Jackson, MS 39296-5305
(601) 366-7037

GRANTEE'S ADDRESS & PHONE NO.

6584 Poplar Avenue, Suite 340
Memphis, TN 38138
(901) 682-6600

D:\DOC\1999\WSD-MIDA

3012-A

BOOK 0440 PAGE 090

BOOK 0434 PAGE 782

DESCRIPTION - PARCEL 1

A tract of land situated in the Northeast Quarter of the Northwest Quarter of Section 33 Township 7 North, Range 2 East, Madison County, Mississippi and being more particularly described as follows:

Commence at the Northwest corner of Section 33, Township 7 North, Range 2 East, and run thence East 1528.22 feet thence South 89 degrees, 39 minutes, 59 seconds East for a distance of 510.25 feet; thence North 89 degrees, 36 minutes, 00 seconds East for a distance of 97.56 feet to the POINT OF BEGINNING of the parcel herein described; thence

Along the South line of Lakeshore Landing Apartments North 89 degrees, 36 minutes, 00 seconds East for a distance of 91.23 feet; thence

Along the North line of asphalt pavement South 32 degrees, 31 minutes, 22 seconds West for a distance of 2.48 feet; thence

South 38 degrees, 10 minutes, 35 seconds West for a distance of 11.04 feet; thence

South 41 degrees, 25 minutes, 29 seconds West for a distance of 9.54 feet; thence

South 35 degrees, 56 minutes, 07 seconds West for a distance of 10.14 feet; thence

South 21 degrees, 46 minutes, 59 seconds West for a distance of 22.34 feet; thence

South 09 degrees, 54 minutes, 52 seconds West for a distance of 21.02 feet; thence

South 29 degrees, 54 minutes, 36 seconds West for a distance of 8.51 feet; thence

South 79 degrees, 44 minutes, 46 seconds West for a distance of 7.48 feet; thence

North 44 degrees, 52 minutes, 11 seconds West for a distance of 39.39 feet; thence

North 22 degrees, 13 minutes, 15 seconds West for a distance of 51.57 feet to the POINT OF BEGINNING.

The herein described parcel contains 0.088 acres.

EXHIBIT "A"--Page 1 of 2

SIGNED FOR IDENTIFICATION:

H. Power Hearn Jr.
H. POWER HEARN, JR.

DESCRIPTION - PARCEL 2

A tract of land situated in the Northeast Quarter of the Northwest Quarter of Section 33 Township 7 North, Range 2 East, Madison County, Mississippi and being more particularly described as follows:

Commence at the Northwest corner of Section 33, Township 7 North, Range 2 East, and run thence East 1528.22 feet thence South 89 degrees, 39 minutes, 59 seconds East for a distance of 510.25 feet; thence North 89 degrees, 36 minutes, 00 seconds East for a distance of 97.56 feet; thence South 22 degrees, 13 minutes, 15 seconds East for a distance of 115.76 feet to the POINT OF BEGINNING of the parcel herein described; thence

Along the edge of an asphalt street South 32 degrees, 46 minutes, 40 seconds East for a distance of 31.06 feet; thence

South 29 degrees, 19 minutes, 41 seconds East for a distance of 47.57 feet; thence

South 25 degrees, 29 minutes, 07 seconds East for a distance of 50.70 feet; thence

South 24 degrees, 41 minutes, 59 seconds East for a distance of 48.57 feet; thence

South 23 degrees, 19 minutes, 47 seconds East for a distance of 48.41 feet; thence

South 22 degrees, 09 minutes, 42 seconds East for a distance of 31.14 feet to the North Right-of-way line of Charity Church Road; thence

Along said Right-of-way North 76 degrees, 48 minutes, 00 seconds West for a distance of 18.29 feet; thence

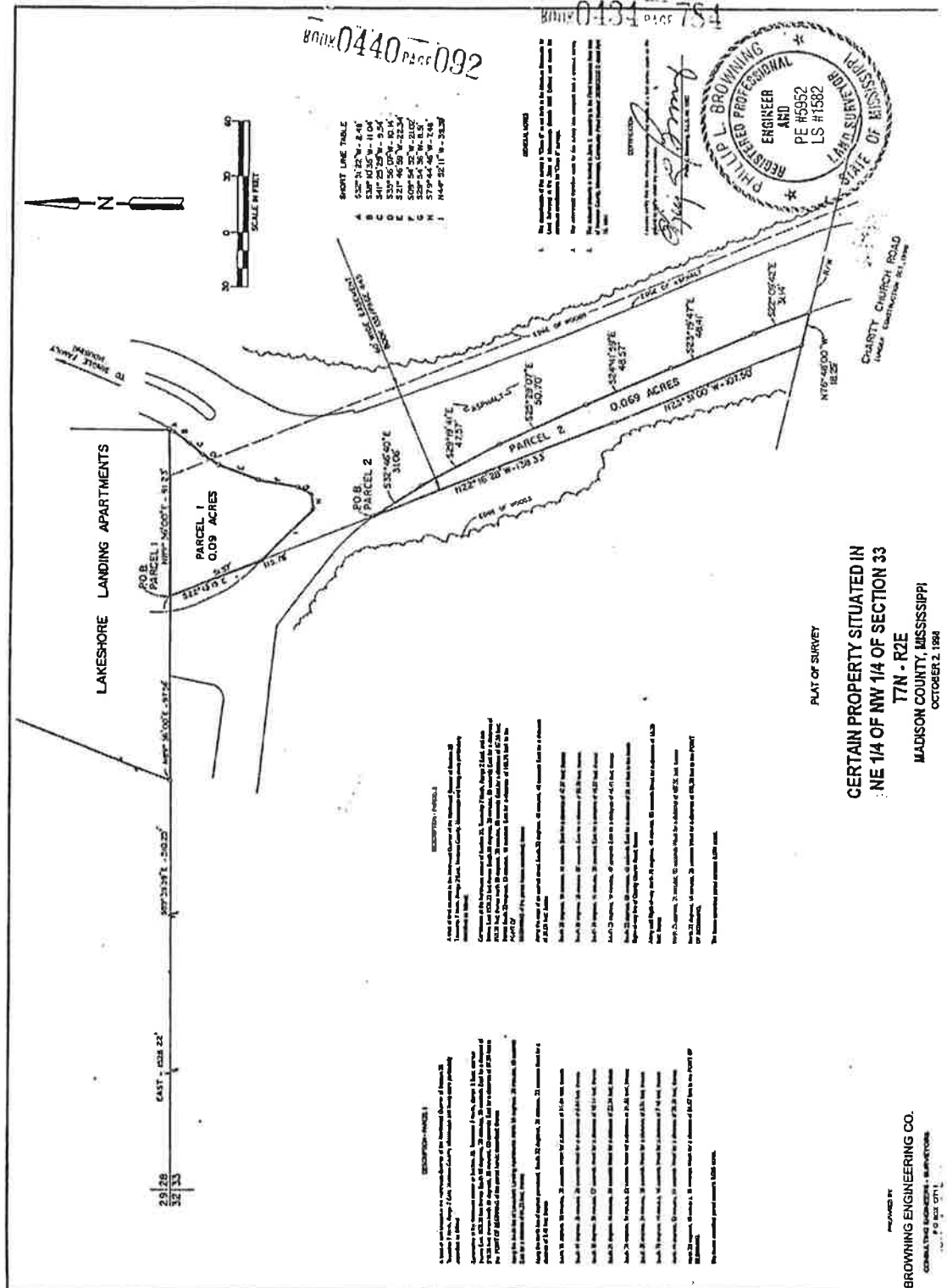
North 23 degrees, 31 minutes, 00 seconds West for a distance of 107.50 feet; thence

North 22 degrees, 16 minutes, 28 seconds West for a distance of 138.33 feet to the POINT OF BEGINNING.

The herein described parcel contains 0.069 acres.

EXHIBIT "A"--Page 2 of 2
SIGNED FOR IDENTIFICATION:


H. POWER HEARN, JR.



SIGNED FOR IDENTIFICATION:

H. POWER HEARN, JR.

Exhibit "B"



STATE OF MISSISSIPPI, COUNTY OF MADISON:

I certify that the within instrument was filed for record in my office this 25 day of Jan, 1999, at 11:45 o'clock A M., and was duly recorded on the JAN 25 1999, Book No. 434, Page 781.

STEVE DUNCAN, CHANCERY CLERK

BY: C Parker D.C.



STATE OF MISSISSIPPI, COUNTY OF MADISON:

I certify that the within instrument was filed for record in my office this 19 day of April, 1999, at 3 o'clock P M., and was duly recorded on the APR 19 1999, Book No. 440, Page 89.

STEVE DUNCAN, CHANCERY CLERK

BY: C Parker D.C.

TAYLOR, COVINGTON & SMITH
P O BOX 3703
JACKSON MS 39207

WCS



AFFIDAVIT OF CHARLES LLEWELLYN

STATE OF Alabama

COUNTY OF Jefferson

I, **CHARLES LLEWELLYN**, am above the age of 21, and of sound mind, and, having been first duly sworn, testify as follows:

1. I am a Regional Vice President at Mid-America Apartments, L.P., which owns and operates the apartment complex at 2144 Lakeshore Drive, Ridgeland, Mississippi 39157, known as Lakeshore Landing. My territory includes the greater Jackson area and Ridgeland, where this complex is located.

2. There are 196 apartment units in Lakeshore Landing apartment complex.

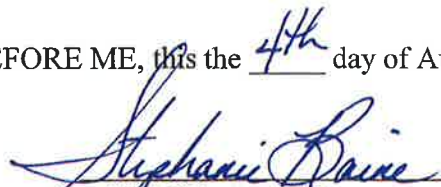
3. The complex is located on a 10.0778 acre parcel of property.

FURTHER AFFIANT SAYETH NOT.



CHARLES LLEWELLYN

SWORN TO AND SUBSCRIBED BEFORE ME, this the 4th day of August, 2014.

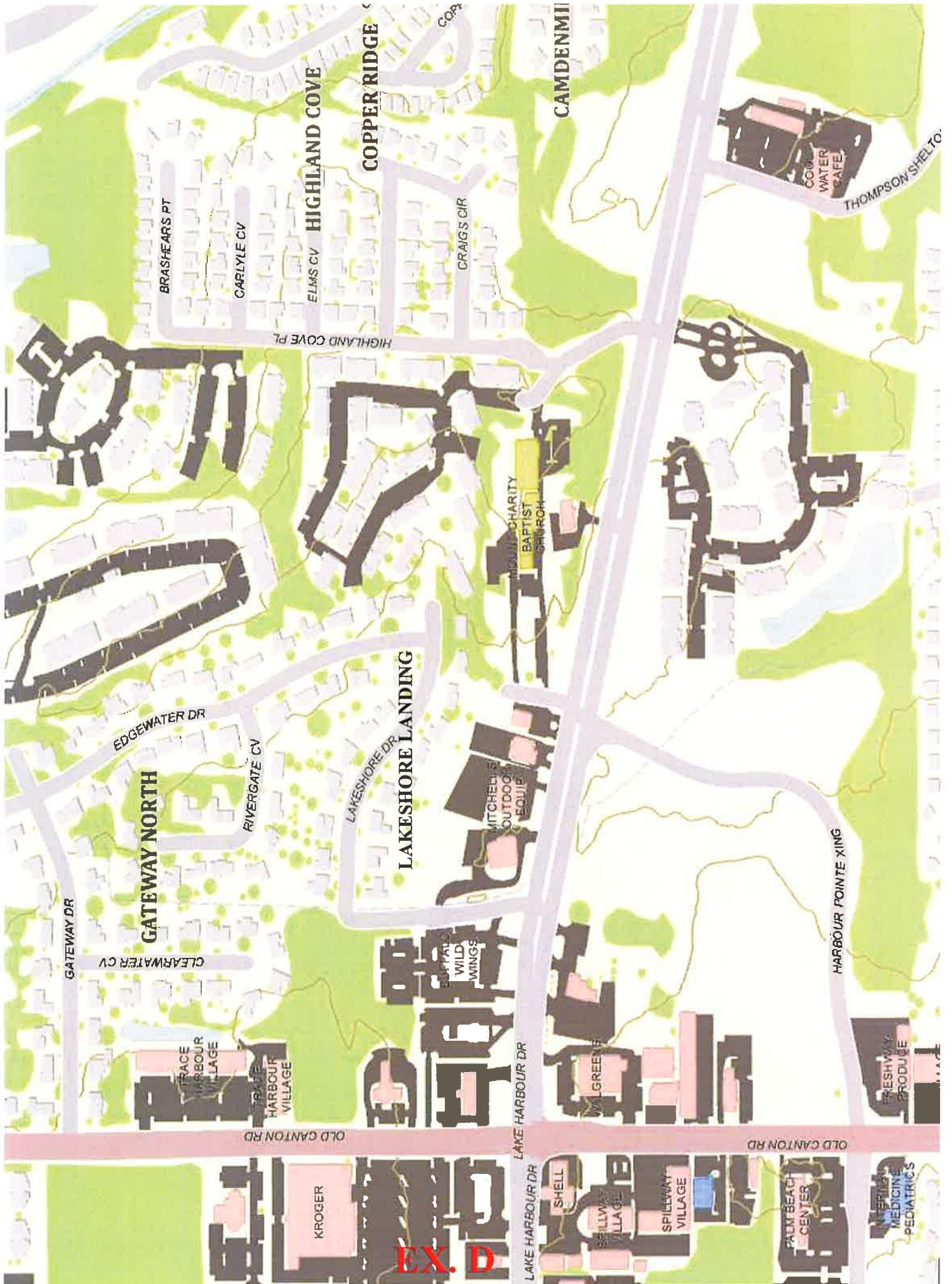


NOTARY PUBLIC

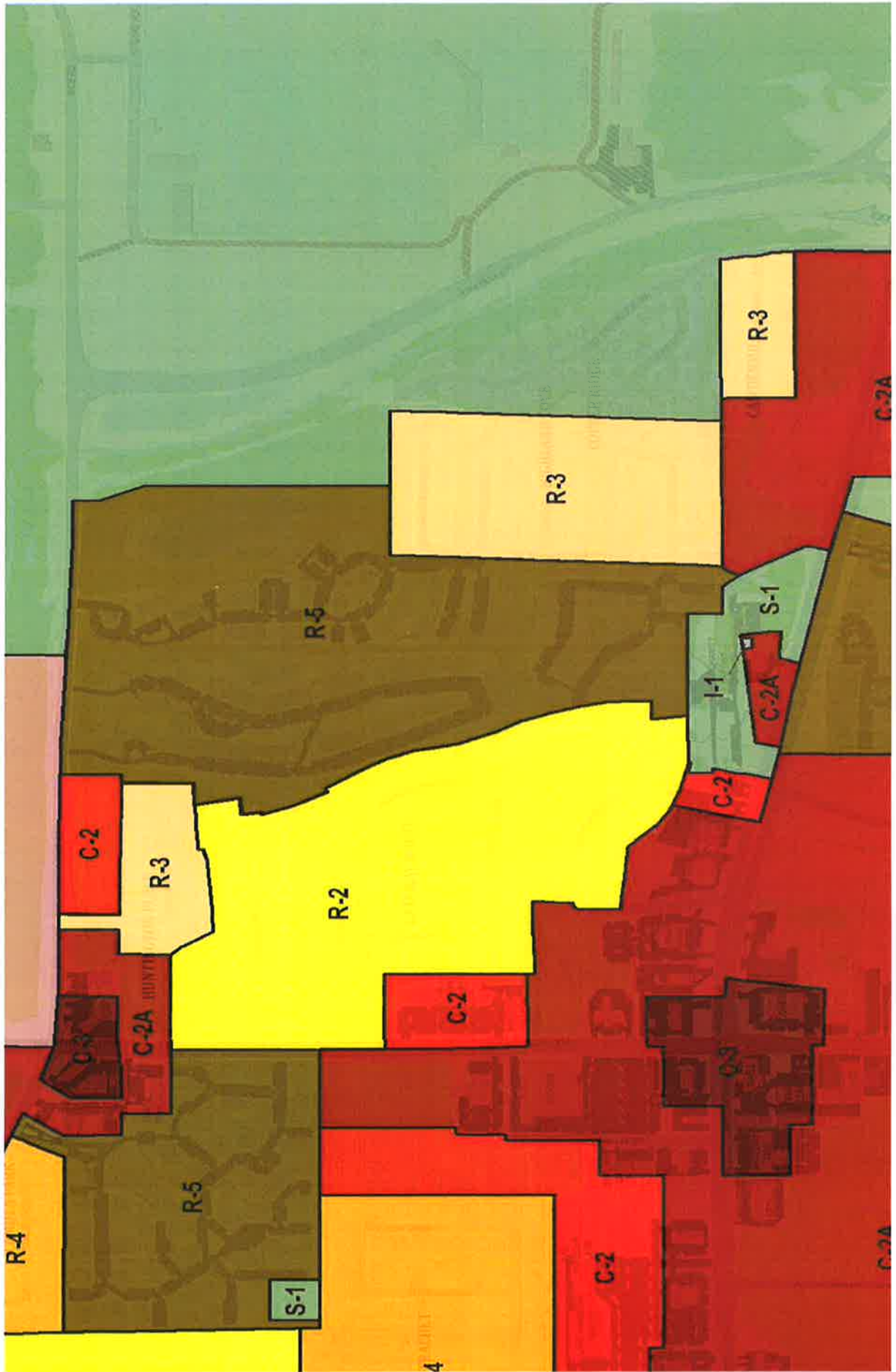
MY COMMISSION EXPIRES:

July 19, 2017

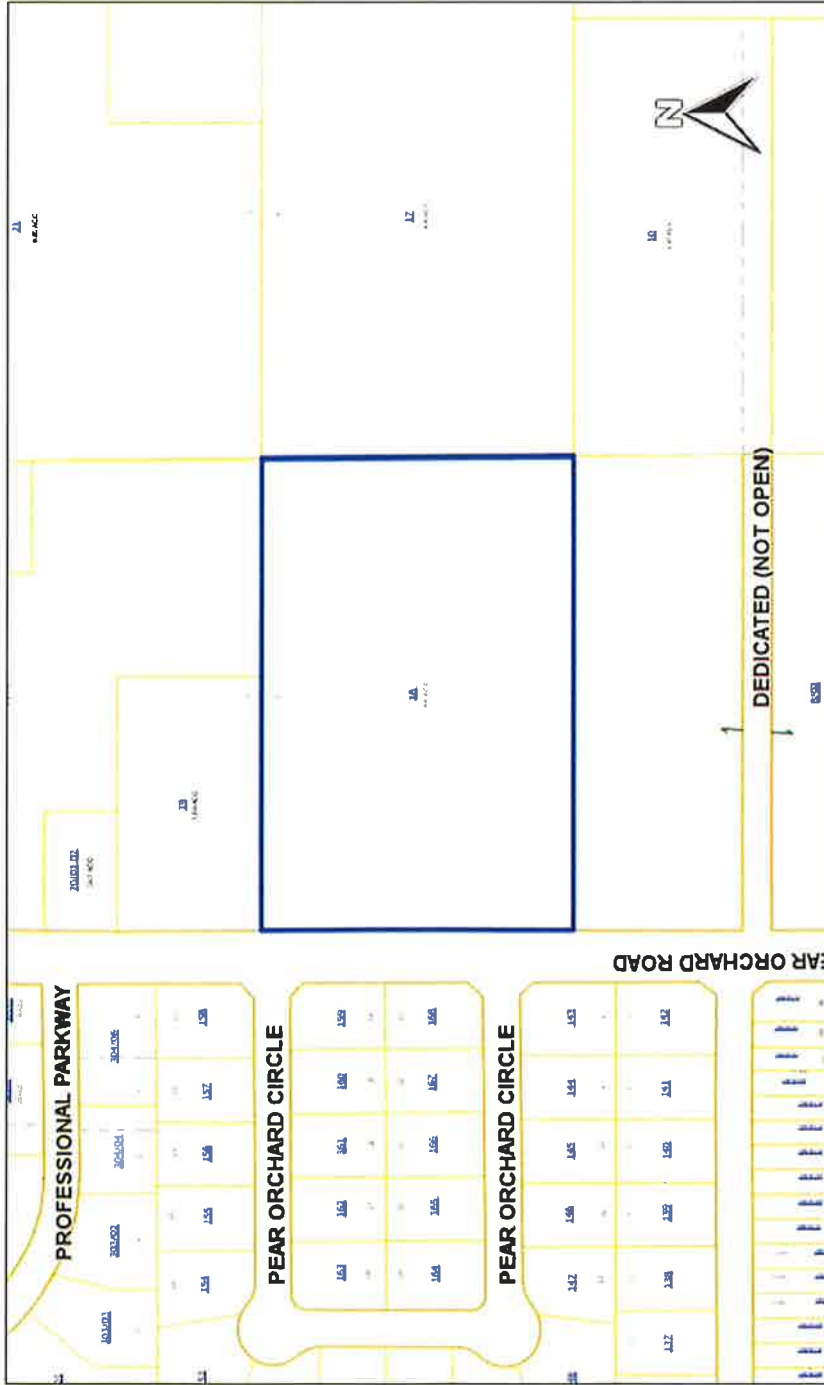


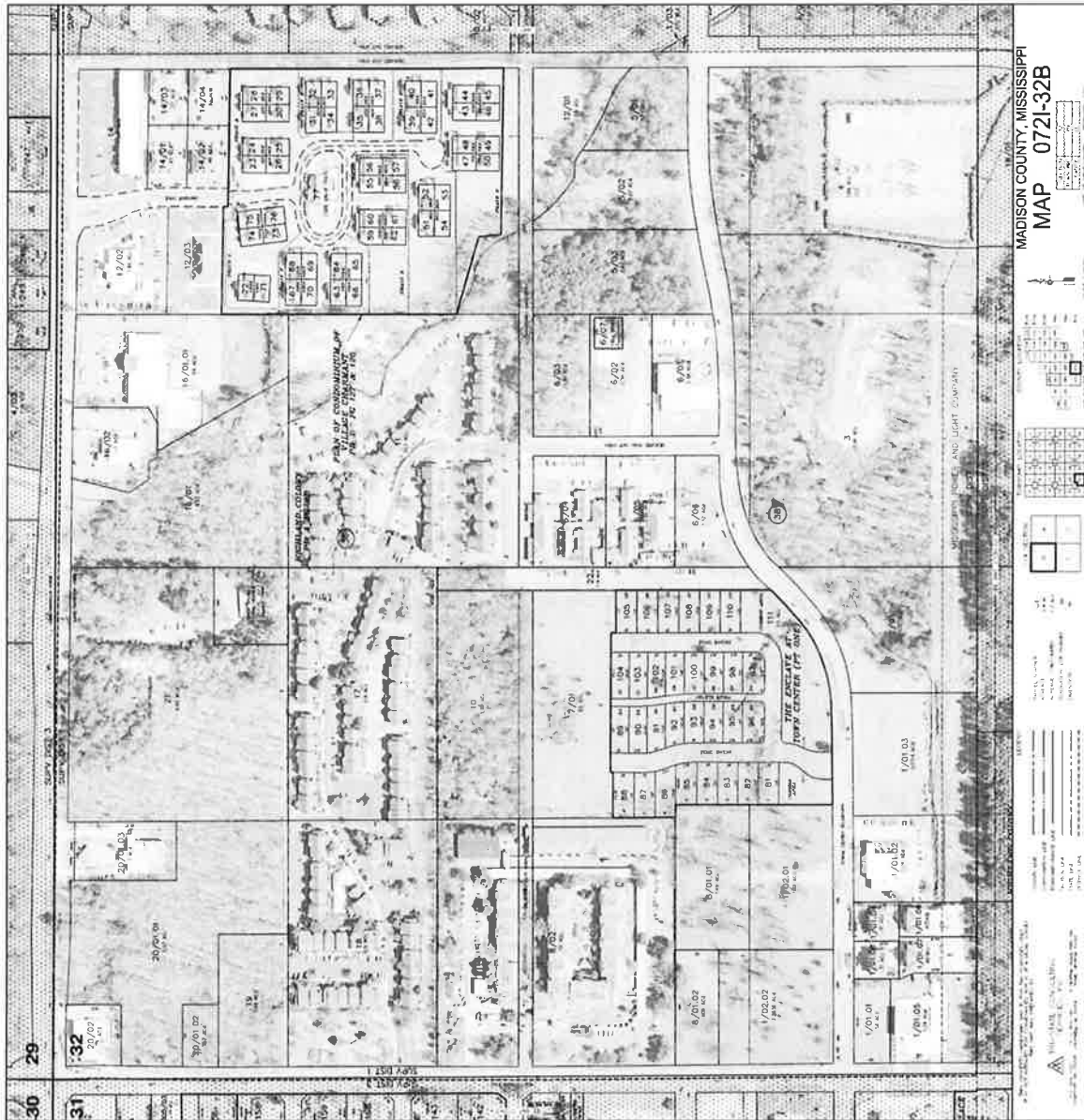


EX. D



Properties Located within 160 Feet from the Lakeshore Apartments		
PARCEL NUMBER	OWNER	MAILING/PHYSICAL ADDRESS
072H-28C-177/00.00	Tracey L Kinsley	1048 Highland CV Place
072H-28C-176/00.00	Felicia and cornelius Denson	1046 Highland CV Place
072H-28C-175/00.00	Roderick T. Davidson	1044 Highland CV Place
072H-28C-168/00.00	Debra Brown	1040 Highland CV Place, Ridgeland, MS
072H-28C-167/00.00	Kelly Galambus	1038 Highland CV Place, Ridgeland, MS
072H-28C-163/00.00	Lenona Beal	1036 Highland CV Place, Ridgeland, MS
072H-28C-156/00.00	Cedric Conley	1032 Highland CV Place, Ridgeland, MS
072H-28C-155/00.00	Cedric Conley	1032 Highland CV Place, Ridgeland, MS
072H-28C-154/00.00	Reginald and Temeka Jackson	1000 Craig Cir, Ridgeland, MS
072H-28C-150/00.00	Stephen Phillip Lawrence	1024 Highland CV Place, Ridgeland, MS
072H-28C-149/00.00	Linda Tilghman	1022 Highland CV Place, Ridgeland, MS
072H-28C-148/00.00	Patricia Diane Brown	1020 Highland CV Place, Ridgeland, MS
072H-33B-154/04.00	Kari and Rahul Nair	No Address
072H-33B-152/00.00	Mount Charity Baptist Church	PO Box 562 Ridgeland, MS
072H-33B-150/00.00	Mount Charity Baptist Church/Cementary	No Address
072H-28C-117/00.00	Mount Charity Baptist Church/Cementary	No Address
072H-28C-118/00.00	Bremac Lakeshore Landing LLC	2144 Lakeshore Dr, Ridgeland, MS
072H-33B-151/01.00	Reservior Animal Hospital	950 Lake Harbor Dr Ridgeland, MS
072H-33B-151/02.00	Reservior Animal Hospital	950 Lake Harbor Dr Ridgeland, MS
072H-28C-050/00.00	Rebecca and Charles Kelly	7048 Edgewater Dr, Ridgeland, MS
072H-28C-051/00.00	Spencer and Veronica Dunning	7044 Edgewater Dr, Ridgeland, MS
072H-28C-052/00.00	Susan and Eric Cleland	7040 Edgewater Dr, Ridgeland, MS
072H-28C-053/00.00	Henry and Deborah Houston	7034 Edgewater Dr, Ridgeland, MS
072H-28C-054/00.00	Dalton Strait	No Address
072H-28C-055/00.00	Marcia and Raymond Ball	7024 Edgewater Dr, Ridgeland, MS
072H-28C-056/00.00	Jacqueline and Charles Hollis	2099 Lakeshore Dr, Ridgeland, MS
072H-28C-124/01.00	Pointe Apartments, LP	831 Rice Rd, Ridgeland, MS
072H-28C-121/01.00	Legacy Park Apartments, LLC	721 Rice Rd, Ridgeland, MS





There are no pending site and architectural plans for further development.

EX. F

(Official Form March 2014)

6. A copy of the written authority of the owner's representative to act on behalf of the Owner is attached hereto as Exhibit "B", if applicable.

7. The street address of the property is: Pear Orchard Apartments

580 Pear Orchard Road

Ridgeland, Mississippi 39157

Tax Parcel ID Number(s): 072I-32B-011/00.00

072I-32B-017/00.00

072I-32B-018/00.00

8. A survey of the property certified by a licensed land surveyor is attached as Exhibit "C". The certified plat or map clearly illustrates and indicates the total acreage, number of residential or commercial units in each building (if applicable), and exterior facilities.

9. The property is presently zoned R-5, Multi-Family Residential, according to the official zoning map of Ridgeland, Mississippi.

10. Petitioner requests the follow Nonconforming Class Status (check one):

☐ Administrative Class A Nonconformity (Section 40.03.C)

☒ Designated Class A Nonconformity (section 40.03.D)

11. A vicinity map or plat depicting an area of at least 300' surrounding the subject property in all directions is attached to this Petition as Exhibit "D". The vicinity map includes the current zoning classification of all lands within 160' of the subject property.

12. A list of the names and addresses of all owners of property within 160 feet of the subject property, excluding road rights-of-way, according to the most recent county tax roll is attached as Exhibit "E".

13. Site and architectural plans for development/improvement of the property may be attached as Exhibit "F".

14. Petitioner intends to use the subject property for the following purpose(s) in accord with requested Class A Nonconforming Status: _____

Pear Orchard Apartments seeks to continue to use the property as it was originally built in 1984, and as it has been used ever since. Namely, it seeks to continue operation of this apartment complex at the density of 17.0 units per acre and, if and when it becomes necessary, to repair and rebuild to property in its current form. It does not have current plans to further develop this property, let alone to increase the density of units.

15. Class A Nonconforming Status of the property is requested for the following reason(s):

Pear Orchard Apartments seeks this designation in the light of the City's adoption of the new zoning ordinance. Designation of the property as Class A Nonconforming Status will resolve how the property may be used on a going forward basis.

16. Petitioner declares that the continuance of the described Nonconforming Use, Lot, Structure, or Occupancy would not be contrary to the public health, safety or welfare, or the spirit of this Ordinance, if approved. Petitioner offers the following statement to support this declaration (attach additional sheets, if necessary): _____

See attached response.

17. Petition declares that the use, lot, structure, or occupancy does not and is not likely to significantly depress the value of nearby properties. Petitioner offers the following statement to support this declaration: _____

See attached response.

18. Petitioner declares that the use, lot, structure, or occupancy was lawful at the time of its inception and that no useful purpose would be served by strict application of the provisions or requirements of this Ordinance to the nonconformity. Petitioner offers the following statement to support these declarations: _____

See attached response.

19. Petitioner files herewith one original (1) and ten (10) legible copies of this Petition and all exhibits attached hereto.

20. In the event that the Petitioner is seeking and Administrative Class A Nonconforming Status, Petitioner acknowledges the Petitioner must give at least fifteen (15) days notice, to all property owners owning property within 160' of the subject property by certified mail, return receipt requested, of the request set forth in this petition and of the end date of the comment period. Except as otherwise determined, all certified mail receipts and any certified mail return receipts shall be submitted prior to the granting of the status.

21. Petitioner acknowledges that Petitioner has received a copy of the Procedural Rules of the City of Ridgeland Zoning Board, has read the same and fully understands the requirements, rights and duties set forth therein.

22. The required \$150.00 filing fee has been paid with the filing of this Petition.

Respectfully Submitted,

Mid-America Apartments, L.P.

By: Mid-America Apartment Communities, Inc., its General Partner

By: Robert J. DelPriore

Date: 8/4/2014

Robert J. DelPriore

EVP, General Counsel



RESPONSE TO QUESTION NO. 16

I. Description of Property

Pear Orchard Apartments is an apartment complex with 389 units that was built in 1984 on a 22.879 acre parcel of property. It is a well-planned, well-coordinated, well-maintained, very attractive development in the heart of the City:



The complex is accessible via an entrance on Pear Orchard, and an entrance from Town Centre Boulevard:



The complex also includes amenities, such as swimming pools, a clubhouse, tennis courts, a playground, and access to Friendship Park and the City's multi-use trails:



The complex is bordered by many different types of uses, including Friendship Park¹, a retirement home, single family homes, and a medical/treatment facility. It also has convenient access to Lake Harbour Drive and County Line Road (including Northpark Mall).

II. The Continued Operation of the Complex at the Current Density Would not be Contrary to Public Health, Safety and Welfare or the Spirit of the Ordinance

Significantly, Pear Orchard is an apartment complex located in an area that has always been zoned for apartment complexes and continues to be zoned for such uses on a going forward basis. Applicant believes that the continued operation of Pear Orchard Apartments at the density to which it was built (17.0 units/acre) – as opposed to the density requirements of the new ordinance (10 units/acre) – is certainly not contrary to the public health, safety and welfare of the citizens of Ridgeland or the spirit of the ordinance.

With respect to public safety, there has never existed a tangible safety concern during the life of the complex. With respect to public health and welfare, there has also never existed an unsafe or unsanitary condition on the property. A review of the City's inspection files on this property demonstrate a very good maintenance history. Indeed, there is only a single warning, in 2010, to repair a fence behind one building. It was resolved without any further action needed by the City. That is a remarkable record for any facility of any appreciable duration, let alone a 30 year old complex of this size.

Also notable, in 2002, the complex sought City approval at every required step when it spent \$750,000 to reconstruct one building (with 8 units) that was destroyed by fire. This too demonstrates a level of commitment to maintain the property in a prudent and responsible way.

Applicant is committed to maintaining the high levels of excellence that have existed at this outstanding complex for 30 years. Regardless, Applicant is not aware of any issues that

¹ In fact, the owner later deeded a portion of the property to the City in connection with the development of Ridgeland's famous trails.

would suggest the continued operation of this facility at the additional density (7.0 units/acre) is contrary to public health, safety, welfare or the spirit of the zoning ordinance.

City of Ridgeland
Code Enforcement Division
304 Highway 51 • P.O. Box 217 • Ridgeland, MS 39157 • 601-856-3877

COURTESY WARNING

Date: 2-22-10 Time: 1330 a.m./p.m.

Location: 580 S. Pearl Dr. N.D.

The City of Ridgeland Code Enforcement Division is committed to working together with you to provide a safe and attractive community. In order to meet this goal, the following items must be brought into compliance with the City of Ridgeland code:

① Fence Behind Bldg #17 must be repaired

Please correct the violation(s) within 14 days from date of issuance

We would like to thank you in advance for helping keep Ridgeland safe and attractive. If you have any questions, please call:

Officer: S. WICKINS

601-856-3877

☐ Posted

☒ Hand served

TAX PARCEL NO. _____ PERMIT NO. 6727 DATE: 05-17-2002

City of Ridgeland

APPLICATION FOR BUILDING PERMIT

Type of Permit:

☒ A. Erection or Construction
☒ B. Repair or Alteration
☐ C. Excavation or Site Work
☐ D. Moving
☐ E. Demolition or Razing

Type of Structure:

☐ New Residential Housekeeping Buildings
101 Single-family house, detached
102 Single-family house, attached
103 Two-family building
104 Three- and four-family building
105 Five-or-more family building
☐ New Residential Nonhousekeeping Buildings
213 Hotels, motels, and tourist cabins
214 Other nonhousekeeping shelter
☐ New Nonresidential Buildings
318 Amusement, social, and recreational
319 Churches and other religious
320 Industrial
321 Parking garages
322 Service stations and repair garages
323 Hospitals and institutional
324 Offices, banks, and professional
325 Public works and utilities
326 Schools and other educational
327 Stores and customer services
328 Other nonresidential buildings
329 Structures other than buildings
Additions, Alterations, and Conversions
☒ 434 Residential (except garages and carports)
437 Nonresidential and nonhousekeeping
438 Additions of garages and carports
Demolitions and Razing of Buildings
445 Single family houses (attached or detached)
446 Two-family buildings
447 Three- and four-family buildings
448 Five-or-more family buildings - 1 Building with
449 All other buildings and structures 8 units

Location:

Street Address 580 PEAR ORCHARD DR
Lot No. _____ Block _____ Subdivision Pear Orchard Apartments
Square footage: 1000 sq ft Current zoning R-5A
Number of residential units 8 Sewer Tap Needed? N/A
Water meter size N/A Water tap size N/A

Cost of Construction \$750,000.00

If Commercial:

No. electrical outlets _____ No. Plumbing fixtures _____
No. Parking spaces _____

Location in Floodplain:

☐ A. Inside regulatory floodway limits
☒ B. Outside floodway limits in 100 year floodplain but outside of floodway
☐ C. Inside 100 year floodplain - no regulatory floodway established

Flood Insurance Rate Map Panel Number _____ Rate zone _____
Proposed lowest floor elevation _____ Actual lowest floor elevation _____
Required Lowest flood elevation _____ (Map + 1 foot)
Base flood elevation (Map) _____

OWNER'S NAME AND ADDRESS:

M.D. AMERICA Community
6825 SONYA DR
NASHVILLE, TN 37209
A# ERIC CANTAU
Phone No. 615-352-2221

CONTRACTOR'S NAME AND ADDRESS:

JAY CONSTRUCTION
1204 NORTHEAST BULLHORN PKY SUITE 1
MADISON, TN 37115
Phone No. 615-612-2420

SUBCONTRACTOR'S NAME:

Electrical Precision Electric PHONE NO. 222-2926
Plumbing Precision Plumbing & Air
Mechanical Precision Plumbing & Air 373-2034

I hereby certify that I am the owner, or the owner's agent for the purpose of applying for this permit; and the information set forth above is true and correct and the same may be utilized for all purposes, including tax assessment and levy. I understand that the building permit issued pursuant to this application is valid for six months after date of issuance.

Signature - Owner, Contractor, or Agent

Mike Poik
Printed or typed name of person signing

APPROVAL OF PERMIT:

J.N. McCollum Date

 FEES AND CHARGES ESTABLISHED IN CONNECTION WITH THIS PERMIT ARE AS FOLLOWS:

Building Permit Fee	1500.00
Inspection Fee	700.00
Water Tie-On Fee	0.00
Water Tie-On Fee Tax	0.00
Water Tap Fee	0.00
Water Tap Fee Tax	0.00
Sewer Tie-On Fee	0.00
Sewer Tap Fee	0.00
Water Base Charge	0.00
Water Base Charge Tax	0.00
Sewer Base Charge	0.00
Traffic Impact Fee	0.00
Other	0.00
Less Filing Fee	0.00

 Total Fees to be Collected by Clerk: 2200.00

Any additional charges resulting from re-inspections, damages to curbs, water meters, boxes, and professional review fees, etc., will be assessed and due at the time of issuance of Certificat of Occupany.

Date: May 17, 2002

Q. Q. might
 Signature of Officer Setting Fees

 APPROVAL OF PERMIT

TO: CITY CLERK

Having examined this Application and reviewed the plans and specifications submitted in connection therewith, such have been found to be in proper order and in compliance with the ordinances of the City of Ridgeland, and the applicant is entitled to have the permit issued upon the payment of the required fees.

Date: May 17, 2002

 Signature of Officer

 CITY CLERK'S ACTION IN ISSUANCE OF PERMIT

PERMIT NUMBER ISSUED, this the 17th day of May, 2002,
 and total fees and charges in the amount of \$ 2200.00 received this date.

Q. Q. might
 Clerk

CITY OF KIDGELANG

Plans Submittal Information Sheet

Date 04/27/02

Name of the Project PEAR ORCHARD

Name, address and phone of the person or development company making the submittal

Name JAY construction

Address 1209 northgate business park

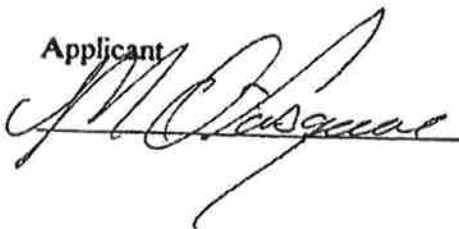
City MADISON

State TN Zip Code 37115 Phone (615) 612-2420

Purpose of submittal

	Single family residential review
X	Site plan for Architectural Review
	Site plan for Architectural Review (re- review)
X	Construction documents for code review
	Construction documents for Re- review
	Swimming Pool code review
	Preliminary Plat review
	Preliminary Plat re-review
	Final Plat review
	Final Plat re-review
	Rezoning, conditional Use or Dimensional Variance petition review
X	Fire Sprinkler Review
	Fire Sprinkler Re-Review
	Lawn Irrigation Review
	Lawn Irrigation Re-Review
	Other (explain below)

Applicant



City of Ridgeland
Community Development
Post Office Box 217
304 Highway 51
Ridgeland, Mississippi 39158
601.856.3877
www.ridgelandms.org



Gene F. McGee
Mayor

John M. McCollum
Director of Community
Development

Board of Aldermen
Ken Heard, Ward 1
Chuck Gautier, Ward 2
Carole A. Davis, Ward 3
Larry Roberts, Ward 4
Scott Jones, Ward 5
Linda Davis Trunzler, Ward 6
Mayor Pro Tempore
Gerald Steen, At-Large

THE CITY OF



RIDGELAND

April 25, 2002

Mr. Mike Polk
Jay Construction
1209 Northgate Business Parkway
Suite 1
Madison, TN 37115

RE: Pear Orchard Apartments (Fire Damaged)

Dear Mr. Polk:

We have reviewed the construction plans submitted for Pear Orchard Apartments (Fire Damaged Units) and the following comments or questions must be addressed before a building permit can be issued:

CODE REVIEW REQUIREMENTS

1. See attached sheets.

You may or may not receive comments from Joe Kelly of the Ridgeland Fire Department regarding fire protection.

If you have any questions or alternatives to the above comments, please call me at 856-3877.

Sincerely,

John M. McCollum, Director
Community Development Department

JMM/cr

A			B	C	D	E	F	G
1	Plans Review Checklist							
2								
3	Project Name	PEAR ORCHARD APARTMENTS (FIRE DAMAGED)						
4	Date	April 24, 2002						
5	Plans Reviewer	John M. McCollum						
6	Number of units	6						
7	Construction Type	V-B						
8	Area	16000						
9	Number of Stories	2						
10	Zoning Classification	R-5A						
11								
12	General Requirements International Building Code 2000 Edition		Code Section	OK	N/A	Redo	Sheet #	
13	Complete the application for building permit		104.2	X				
14	In group R-2 and R-3 list the occupant loads on the plans for each room.		106.1.2	X			cover	
15	List the use and occupancy classification on the drawings		302.1	X				
16	Note: Reference the 2000 IBC, IPC, IMC and 1999 NEC in the code and guide sections		708	X			Cover	
17	Fire Partitions Includes walls separating dwelling units/ mail tenants (see except)		708.3	X			4-5	
18	Fire resistance must be one hour minimum. (see exceptions)		708.4	X				
19	Partitions are continuous from the floor/ceiling to the roof and securely attached		710.3	X				
20	Floor/ceiling assemblies must be 1 hour between dwelling units		711	X				
21	Penetrations							
22	Penetrations must be protected by an approved fire stop system (provide details)		711.3.1.2	X				A
23	Rated wall penetrations of 1 hr must not be reduced by recess fixtures (Ex)		711.3.2	X				
24	Fire dampers must have a minimum 1.5 hour fire resistance		715.3.1	X				
25	In R-1 and R-2 Draft stopping between tenant spaces in the attic is required		716.4.2	X				
26	Draft stopping is required in concealed spaces in attics > 3000 SF EX AFS		716.4.3	X				
27	For group R-2 a manual fire detection system is required > 16 units or 2 stories.		907.2.9	X				
28	For R-2, R-3, R-4 and I-1 require smoke alarms in the following locations: Hall leading to a sleeping area, sleeping areas and each story.		907.2.10.1.2	X				E-1
29	Smoke alarms in R-2, R-3, R-4 are not interconnected.		907.2.10.3	X				E-1
30	Guard rails are required on all open sided walking surfaces, mezzanines, industrial equipment platforms, stairways, ramps and landings located > 30 inches above the floor or grade level.		1003.2.12	X				A-1
31	Guard rails must form a protective barrier > 42 inches in height		1003.2.12.1	X				A-1

A		B	C	D	E	F	G
	Open guards are required to have balusters or ornamental patterns such that a 4 inch sphere cannot pass through any opening up to a height of 34 inches. From 34 to 42 inches an 8 inch sphere cannot pass through.						
326	Stairway width shall not be < 44 inches.	1003.2.12.2		X			
327	Stair rises must be 7 inch maximum and 4 inches minimum. Tread depths must be 11 inches minimum.	1003.3.3.1		X			
328	Stair treads and rises must be of uniform size and shape. The tolerance between the largest and smallest treads and risers is .377 inch.	1003.3.3.3.1		X			
329	Install a landing at the bottom and top of each stairway. The width of the landing shall not be less than the stairway they serve.	1003.3.3.3.4		X			
330	For landings provide a 48" dimension in the direction of travel.	1003.3.3.3.4		X			
331	Handrails must be located between 34 and 38 inches above treads or floors.	1003.3.3.11.1		X			
332	The circular cross section for handrails must be between 1.25 and 2 inches.	1003.3.3.11.3		X			
333	Handrails must extend 12 inches beyond the top riser and one tread depth beyond the bottom riser.	1003.3.3.11.5		X			
334	Provide a window in each bedroom with a minimum clear opening of 5.7 F2 with a 24" opening height min. and 20" width min. 1009			X			
335	2000 International Plumbing Code			X			
362							
363	Provide a detail on the support of all plumbing piping	308.5		X			
364	Provide an approved emergency drain pan with drain for hot water heaters.			X			
365	Install anti scald devices in all shower/tub assemblies.			X			
366	Install non-imperious surfaces 4' AFF in all bathrooms.			X			
	Provide details on water closets, toilet stalls, urinals, lavatories, grab bars, ramps, signs, doors and drinking water fountains that conform to the Americans with disability act.	ANSI A 117		X			
367	Provide the ASTM # for water distribution pipe	604.5		X			
368	Provide Full open valves in the following locations			X			
369	Entrance to every dwelling unit	606		X			
370	Sanitary Drainage			X			
371	Provide the ASTM # for drain and vent pipe pipe	702.1		X			
372	Provide the drainage fixture units for building drains and horizontal branches and stacks	710		X			
373	2000 International Mechanical Code			X			
374	Provide the size and length of the clothes dryer vent.			X			
375	1999 National Electric Code			X			

A-1

A							B	C	D	E	F	G
472	Provide the location of disconnects for the building						230		X			
473	An approved grounding method must be illustrated on the riser diagram						250		X			
474	Provide the following information								X			
475	Conductor size and type						230		X			
476	Transformer size, type and impedance						230		X			
477	Maximum available fault current						230		X			
478	AIC rating and type of overcurrent protection devices						230		X			
479	#3 Service entrance cable is too small (310-16).								X			
480	Provide a panel schedule which includes circuit number, Amps, load description, wire size and type, bus bar bracing, AIC rating for the bus, and overcurrent protection.						384		X			
481	Electrical panels must be relocated in middle 16 units.								X			
482	Install G.F.C.I.'s in the kitchen counter top 6' on center and 1' on each island.								X			
483	Provide a disconnect within 6 feet of HVAC units and hot water heaters.								X			

City of Ridgeland
Community Development
Post Office Box 217
304 Highway 51
Ridgeland, Mississippi 39158
601.856.3877
www.ridgelandms.org



May 7, 2002

Mr. Mike Polk
Jay Construction
1209 Northgate Business Parkway
Suite 1
Madison, TN 37115

RE: Pear Orchard Apartments (Fire Damaged)

Dear Mr. Polk:

We have reviewed the construction plans submitted for Pear Orchard Apartments (Fire Damaged Units) and the following comments or questions must be addressed before a building permit can be issued:

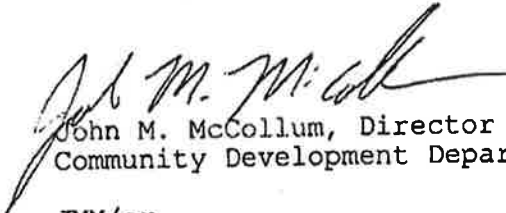
CODE REVIEW REQUIREMENTS

1. See attached sheets.

You may or may not receive comments from Joe Kelly of the Ridgeland Fire Department regarding fire protection.

If you have any questions or alternatives to the above comments, please call me at 856-3877.

Sincerely,


John M. McCollum, Director
Community Development Department
JMM/cr

Gene F. McGee
Mayor

John M. McCollum
Director of Community
Development

Board of Aldermen
Ken Heard, Ward 1
Chuck Gautier, Ward 2
Carole A. Davis, Ward 3
Larry Roberts, Ward 4
Scott Jones, Ward 5
Linda Davis Trunzler, Ward 6
Mayor Pro Tempore
Gerald Steen, At-Large

THE CITY OF

RIDGELAND

	A										B	C	D	E	F	G
1	Plans Review Checklist															
2																
3	Project Name PEAR ORCHARD APARTMENTS (FIRE DAMAGED)															
4	Date May 7, 2002															
5	Plans Reviewer John M. McCollum															
6	Number of units 6															
7	Construction Type V-B															
8	Area 16000															
9	Number of Stories 2															
10	Zoning Classification R-5A															
11																
12	General Requirements International Building Code 2000 Edition										Code Section	OK	C	N/A	Redo	Sheet #
13	Complete the application for building permit										104.2	X				
14	Note: Reference the 2000 IBC, IPC, IMC and 1999 NEC in the code and guide sections											X				cover
15	Fire Partitions Includes walls separating dwelling units/ mall tenants (see except)										708	X				A-5
16	Fire resistance must be one hour minimum. (see exceptions) Provide UL #										708.3	X				A-5
17	Floor/ceiling assemblies must be 1 hour between dwelling units. Provide UL #										710.3	X				
18	Penetrations										711	X				
19	Penetrations must be protected by an approved fire stop system (provide details)										711.3.1.2	X				A
20	For R-2, R-3, R-4 and I-1 require smoke alarms in the following locations: Hall leading to a sleeping area, sleeping areas and each story.										907.2.10.1.2	X				E-1
21	Smoke alarms in R-2, R-3, R-4 are not interconnected.										907.2.10.3	X				E-1
22	Guard rails are required on all open sided walking surfaces, mezzanines, industrial equipment platforms, stairways, ramps and landings located > 30 inches above the floor or grade level															
23	Guard rails must form a protective barrier > 42 inches in height										1003.2.12	X				A-1
24	Open guards are required to have balusters or ornamental patterns such that a 4 inch sphere cannot pass through any opening up to a height of 34 inches. From 34 to 42 inches an 8 inch sphere cannot pass through.										1003.2.12.1	X				A-1
25	2000 International Plumbing Code										1003.2.12.2	X				A-1
26	Install non-impervious surfaces 4' AFF in all bathrooms.											X				
27												X				
28	Provide details on water closets, toilet stalls, urinals, lavatories, grab bars, ramps, signs, doors and drinking water fountains that conform to the Americans with disability act.										ANSI A 117		X			
29	Provide Full open valves in the following locations											X				
30	Entrance to every dwelling unit										606	X				

A							B	C	D	E	F	G
201	1999 National Electric Code								x			
203	Provide the location of disconnects for the building						230		x			
204	Transformer size, type and impedance						230		x			
205	Maximum available fault current						230		x			



JOHNNY WYNNE & ASSOCIATES, P.A.

ARCHITECTS & PLANNERS

JOHNNY G. WYNNE, ARCHITECT
BOBBY D. CRAWFORD, ARCHITECT

May 14, 2002

Mr. John M. McCollum, Director
Community Development Department
City of Ridgeland
P.O. Box 217
Ridgeland, MS 39158

Re: PEAR ORCHARD APARTMENTS (fire damaged)

Dear Mr. McCollum:

We are in receipt of your letter of Code Review Comments and offer the following resolutions for compliance. We shall answer your comments in numerical sequence that they were offered.

Item 12: General Requirements International Building Code 2000 Edition:
Contract documents are to be in compliance with this code and added to cover sheet Codes, Standard and Guides.

Item 13: Complete the application for building permit: *Completed by Jay Construction Company.*

Item 21: Note: Reference the 2000 IBC, IPC, IMC and 1999 NEC in the code and guide sections: *Added to cover sheet Codes, Standards and Guides.*

Item 66: Fire Partitions include walls separating dwelling units: *See sheet FR-1 and A-5 Section C/A-5.*

Item 67: Fire resistance must be one hour minimum: *See Sheet FR-1 and A-5.*

Item 70: Floor/ceiling assemblies must be 1 hour between dwelling units. *See sheet FR-1, FR-2, and A-5.*

Item 75: Penetrations: *See sheet FR-2.*

Item 76: Penetrations must be protected by an approved fire stop system: *See details and requirements Sheet FR-2.*

Item 149: Smoke alarms in the following, halls leading to a sleeping area in each story:
Provided on sheet E-1 and E2

Item 154: Smoke alarms in R2, R3, R4 are not connected: *Smoke alarms are protected and interconnected for entire building #7, see sheets E-1 and E-2.*

Item 274: Guard rails required: *See revised sheet A-8.*

Item 276: Guard rails must form a protective barrier 42 inches height: Item 276: Open guards are required to have balusters or ornamental pattern such that a 4 inch sphere cannot pass through any opening up to a height of 34 inches from 34 to 42 inches an 8 inch sphere cannot pass through. *See revised sheet A-8.*

Item 360: 2000 International plumbing code: *Added to cover sheet Codes, Standards and Guides.*

Item 389: Install non-impervious surfaces 4' AFF in all bathrooms. *See sheet A-3 Room Finish Schedule and A-4A elevations 9&10 / A4-A.*

Item 390: Provide details on water closets, toilet stalls, urinals, lavatories, grab bars, ramps, signs, doors and drinking water fountains that conform to the American with Disabilities Act. See new sheet HC-1 and A4a. *See new Sheet HC1 and A4-A.*

Item 393: Provide full open valves in the following locations. Valves are to be provided at building and at hot water heaters: *See sheet C-1 and M-2.*

Item 399: Entrance to every dwelling unit. *See sheet M1.*

Item 471: 1999 National Electric Code: *Added to cover sheet Codes, Standards, and Guides.*

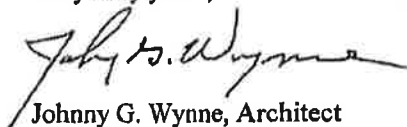
Item 473: Provide the location of disconnects for the building: *See revised drawing E-2.*

Item 477: Transformer size, type and impedance: *See revised drawing E-2.*

Item 480: Maximum available fault current: *See revised drawing E-2.*

A copy of the revised plans is attached. We trust the above information is adequate; however, if you have further questions, or comments, please advise.

Very truly yours,



Johnny G. Wynne, Architect
Johnny Wynne & Associates, P.A.

City of Ridgeland
Community Development
Post Office Box 217
304 Highway 51
Ridgeland, Mississippi 39158
601.856.3877
www.ridgelandms.org



Gene F. McGee
Mayor

John M. McCollum
Director of Community
Development

Board of Aldermen
Ken Heard, Ward 1
Chuck Gautier, Ward 2
Carole A. Davis, Ward 3
Larry Roberts, Ward 4
Scott Jones, Ward 5
Linda Davis Trunzler, Ward 6
Mayor Pro Tempore
Gerald Steen, At-Large

THE CITY OF

RIDGELAND

June 3, 2002

Jay Construction
Attn: Mr. Billy Short
1209 North Gate Business Parkway
Madison, TN 37115

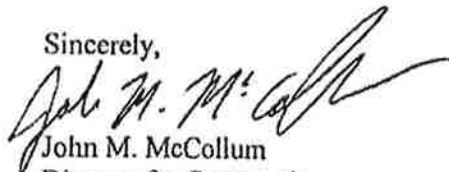
Re: Electrical/ Fire Prevention

Dear Mr. Short,

Thank you for your request with regard to the requirement for installation of an automatic fire sprinkler system to building number seven (7) at Pear Orchard Apartments. We have determined that table 500 of the International Building Code allows multifamily dwellings of wood frame construction up to 7000 square feet per story up to two stories. Pear Orchard Apartments was constructed before the adoption of the 2000 International Building Code and is therefore a non-conforming structure. Due to the extensive damage caused by fire this building is required to comply with the 2000 International Building Code (Please refer to chapter 34 Existing Structures). In order to meet the required height and area requirements this building must be reduced in size or protected with an automatic fire sprinkler system to obtain the 200% area increase as provided in Chapter 5.

Please contact me at 601-856-3877 if you have any questions.

Sincerely,



John M. McCollum
Director for Community Development

City of Ridgeland

Certificate of Occupancy

PEAR ORCHARD APARTMENTS

Department of Community Development

Building Inspections Division

This Certificate issued pursuant to the requirements of the Standard Building Code certifying that at the time of issuance this structure was in compliance with the various ordinances of the Jurisdiction regulating building construction or use. For the following:

Use Classification Multi-Family Residential Bldg. Permit No. 6727
Group R Type Construction VI Fire District N/A
Owner of Building Mid America Community
Building Address 580 S. Pear Orchard Road Locality Ridgeland, Mississippi
By Chris Ramsey Date December 19, 2002
Building Official

POST IN A CONSPICUOUS PLACE

RESPONSE TO QUESTION NO. 17

The Continued Operation of the Complex at the Current Density Would not Depress – Let Alone “Significantly Depress” – the Values of Adjacent Properties

The question posed by this section is whether the continued operation of Pear Orchard Apartments at the density to which it was originally built (17.0 units per acre), versus the new density requirements (10 units per acre), would “significantly depress” the value of nearby properties. Applicant denies that operation of Pear Orchard Apartments at the additional density (7.0 units per acre) depresses the value of nearby properties.

As described in more detail in response to question number 16, Pear Orchard Apartments is a premier development in the heart of the City bordered by numerous residential, commercial and recreational properties. It is the specific opinion of Appraiser Tracy Wofford (*see* attached opinion letter for more detail) that Pear Orchard Apartments does not negatively influence or significantly depress the market value of surrounding properties.

Wofford Consulting, LLC

Real Estate Services

P. O. Box 3041
Madison, MS 39130-3041

July 28, 2014

Robert B. Ireland, III, Esquire
Watkins & Eager, PLLC
P. O. Box 650
Jackson, MS 39206

RE: City of Ridgeland Class A Designation Petition
Pear Orchard Apartments
580 Pear Orchard Road
Ridgeland, MS 39157

This letter is in response to your inquiry as to whether or not the referenced multifamily community significantly depresses the surrounding property values. I offer the following impartial and objective comments regarding the Pear Orchard multifamily community. I graduated with a Bachelor's of Science Degree in Accounting from Mississippi State University in 1979. I have been appraising commercial and special use properties throughout Mississippi for 15 years. I am a MS Certified Appraiser and hold a MAI Designation from the Appraisal Institute. I have more than exceeded my continuing education requirements. Over the past 15 years, I have been involved in over 500 commercial property valuations of which approximately 50 have been multifamily communities. My extensive training and vast experience prepare me to be offer an unbiased prospective. My opinion is primarily based on four points discussed herein.

Pear Orchard Apartments are on the east side of S. Pear Orchard Road, south of Lake Harbour Drive and north of Towne Center Blvd. The neighboring properties are:

- ◆ North: Vacant land, Chevron and Shell C-stores, a child care facility, Hallmark Cleaners and Friendship Park,
- ◆ South: The Orchard Retirement Home and a new single family development
- ◆ East: Commercial retail
- ◆ West: Hospice Ministries and single family residential

Household Income: The first point is the market data indicates that the apartment community residents' household income is generally consistent with single family residents in the same market. Over the past 12 months, approximately 110 houses have sold in the surrounding market from Rice Road to the north to E. County Line Road to the south and between Highway 51 to the west and Old Canton Road to the east. This presents the high side of the range since many of these sales were for custom built homes in Wendover, Montrachet and Heatherstone. It is less likely these market participants would choose to live at Pear Orchard for an extended period of time.

Robert B. Ireland, III, Esquire
July 28, 2014

- ◆ The sale prices range from a low of \$36,000 to a high of \$586,000 with a \$170,365 mean and \$173,816 median. Thirty percent (30%) of the City of Ridgeland owner occupied housing units fall within this price range.
- ◆ FHA requires a 3.5% down payment. Assuming the financing of a \$175,000 home is 96.5%, the principal is \$168,875.
- ◆ According to the Wall Street Journal Market Data the interest rate as of the July 7, 2014 close for a 30 year mortgage is 4.33%.
- ◆ The total single family residential housing outlay is approximately \$1,175/month (\$14,100 annually).
 - ✓ The monthly payment based on current lending terms is \$839 (\$14,100 annually).
 - ✓ Ad valorem taxes equal \$236 / month
 $\$175,000 \times 15\% = \$26,250$
 $\$26,250 \div 1,000 \times 107.76 \text{ millage rate} = \$2,829$
 $\$2,829 \div 12 \text{ months} = \235.75
 - ✓ Insurance is estimated to be \$1,200 annually or \$100/month.
- ◆ The advertised Pear Orchard rental rate for a 3 bedroom/2 bath unit is between \$1,050/month (\$12,600 annually) to \$1,310/month (\$15,720 annually).
- ◆ According to CCIM Site To Do Business, housing is the largest household budget expenditure accounting for 31.7% of the total budget.
- ◆ The indicated annual income required to support housing expenditure based on 31.7% of the household budget:
 - ✓ Pear Orchard Apartment
 $(\$1,050/\text{month} \times 12 \text{ months}) \div 0.317 = \$39,748$, rounded to \$40,000
 $(\$1,310/\text{month} \times 12 \text{ months}) \div 0.317 = \$49,590$, rounded to \$50,000
 - ✓ Neighborhood single family residential
 $(\$1,175 \times 12 \text{ months}) \div 0.317 = \$44,480$, rounded to \$45,000
- ◆ In conclusion, the Pear Orchard residents' annual household income is consistent with single family home owners in the neighboring subdivisions.

Lower Economic Base: The second point is reducing the 389 units (17 units per acre) to 230 units (10 units per acre) will reduce the economic base. There will be fewer people purchasing gas at the neighboring Shell and Chevron stations, getting their dry cleaning done at the Hallmark Cleaners, getting their car washed at the Venture car wash, grocery shopping at the nearby Mac's or eating at nearby eateries. It is likely these businesses made their site selection based on neighborhood demographics, specifically the high density. This potentially translates further to lower sales taxes and car tags, i.e. less revenue to the City of Ridgeland as these apartment dwellers will move to multifamily communities in competing markets.

Robert B. Ireland, III, Esquire
July 28, 2014

Location: The Pear Orchard Apartment community is effectively laid out with sufficient green space. Demolishing the existing improvements will not improve the overall property appeal. Currently, Lake Harbour Road which borders the property's north side is nearing completion of an extensive widening project from Highway 51 to Northpark Drive. This project was designed to improve access to this area and facilitate traffic flow. That being the case, the Pear Orchard Apartments will have improved access and the somewhat higher density will not be an undue burden on the local roadway.

Stable Market: A neighborhood's life cycle encompasses 4 phases – development, stability, decline and revitalization. The immediate market has seen little change in the recent past. It is deemed to be in a stable phase. There are still developable sites in the immediate proximity which indicates site supply exceeds demand at this time. The existing subject property is feasible and productive; thereby it appears to be the highest and best use of the site and has not reached the end of its economic life.

These four points demonstrate the Pear Orchard multifamily community does not negatively influence, let alone significantly depress, the surrounding market values at this time. Please feel free to contact me if you have any questions or I can be of further assistance.

Regards,

A handwritten signature in blue ink that reads "Tracy K. Wofford, MAI". The signature is fluid and cursive, with the initials "MAI" written in a slightly different style at the end.

Tracy K. Wofford, MAI

RESPONSE TO QUESTION NO. 18

Pear Orchard Apartments completed construction in 1984. The planning and initial phases of constructions of course occurred much earlier. Applicant believes the 1973 version of Ridgeland's zoning ordinance applied. Of course, that version contained no density or other pertinent requirements in its highest residential classification (R-3) where the property was then located.¹ Regardless, the complex was built to a density of 17.0 units per acre (389 units on 22.879 acres), which complied with the 1984 ordinance that first established the 17.0 units per acre density requirement. As such, Pear Orchard Apartments was lawful when built (*i.e.*, "at its inception").

It would serve no useful purpose to require strict application of the density requirements contained in the new 2014 ordinance. Indeed, Pear Orchard Apartments has been permitted to operate at a density of 17.0 units per acre for 30 years, and this complex has thrived during this time. Requiring strict application of the ordinance would force the owners of the complex to demolish (or otherwise address) 162 apartments. Such a result would serve no useful purpose in the light of the dramatic and unwarranted usurpation of the owners' investment-based expectations in this complex.

¹ The 1984 ordinance allowed 17 units per acre, which the complex also complied with under a practical view of its density requirements.

INDEXING INSTRUCTIONS:
Lots 5, 6 and 7, Block 36,
Highland Colony Subdivision
Madison County, MS

WARRANTY DEED

2410 STATE OF Georgia)
Fulton COUNTY) BOOK 408 PAGE 222 236513

THIS INDENTURE, made and entered into this 21st day of November 1997, by and between MID-AMERICA APARTMENTS, L.P., a Tennessee limited partnership, party of the first part, and MID-AMERICA CAPITAL PARTNERS, L.P., a Delaware limited partnership, party of the second part;

WITNESSETH: that for the consideration hereinafter expressed, the said party of the first part has bargained and sold, and does hereby bargain, sell, convey and warrant, unto the said party of the second part, the following described real estate, situated and being in the City of Jackson, County of Madison, State of Mississippi, to wit:

See Exhibit "A," attached hereto and incorporated herein by reference for a more particular description of said real estate. Notwithstanding anything to the contrary set forth in this Warranty Deed, said real estate is conveyed and accepted subject to the matters described in Exhibit "B," attached hereto and incorporated herein by reference.

TO HAVE AND TO HOLD the aforesaid real estate, together with all the appurtenances and hereditaments thereunto belonging or in any wise appertaining unto the said party of the second part, its successors and assigns in fee simple forever.

THE CONSIDERATION for this conveyance is as follows: For and in consideration of the sum

Ten and No/100 ----- Dollars (\$ 10.00).
cash in hand paid, and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged.
WITNESS the signature of the said party of the first part the day and year first above written.

MID-AMERICA APARTMENTS, L.P.

By: Mid-America Apartment Communities, Inc.

By: [Signature]
Name: Lydia A. Jackson
Title: Secretary/Treasurer



Print Outlined
MS Y0340195.01
78503-024 11/12/97

STATE OF Georgia
COUNTY OF Fulton

BOOK 408 PAGE 223

Personally appeared before me, the undersigned Notary Public, in and for the State and County aforesaid, on this the 21st day of November, 1997, within my jurisdiction, the within named Lynne A. Johnson, who acknowledged that s/he is Sec./Treas. of MID-AMERICA APARTMENT COMMUNITIES, INC., a Tennessee corporation (the "Constituent"), the sole general partner of MID-AMERICA APARTMENTS, L.P., a Tennessee limited partnership (the "Maker"), and is authorized by the Maker or by the Constituent, the Constituent being authorized by the Maker, to execute and deliver the above and foregoing instrument on behalf of and as the free act and deed of the Maker.

WITNESS my hand, at office, this the 21st day of November, 1997.



M. Dowell
Notary Public

My Commission Expires:

Grantor's Mailing Address:

6584 Poplar Avenue, Suite 340
Memphis, Tennessee 38138

Grantee's Mailing Address:

6584 Poplar Avenue, Suite 340
Memphis, Tennessee 38138

This instrument prepared by:

Baker, Donelson, Bearman & Caldwell
165 Madison Avenue, Suite 1800
Memphis, Tennessee 38103
Attn: Wm. Scott Young

Exhibit "A"

Legal Description

Part of Lots 5, 6 and 7, Block 36, Highland Colony Subdivision, Ridgeland, Madison County, Miss. and being more particularly described as follows:

2p
 BEGINNING at an iron bar marking the NE corner of Lot 7, Block 36 of the aforesaid Highland Colony Subdivision and run S 0 degrees 02 minutes 35 seconds E, along the East boundary of Lot 7, 843.58' to the North R.O.W. line of a 40' wide roadway; run thence N 69 degrees 55 minutes 15 seconds W, along the North R.O.W. line of said roadway, 662.00' to an iron bar on the West boundary of aforesaid Lot 7; run thence N 0 degrees 02 minutes 35 seconds W, along the West boundary of aforesaid Lot 7, 201.18' to an iron bar; run thence N 89 degrees 55 minutes 18 seconds W, 1,288.78' to an iron bar on the East R.O.W. line of Pear Orchard Road, as it is now (April, 1984) in use; run thence N 0 degrees 01 minute 08 seconds E, along the East R.O.W. line of Pear Orchard Road, 442.66' to an iron bar marking the intersection of the East R.O.W. line of Pear Orchard Road with the North Boundary of aforesaid Lot 5, Block 36 of Highland Colony Subdivision; run thence S 89 degrees 54 minutes 31 seconds E, along the North boundary of Lots 5, 6 and 7, Block 36 of Highland Colony Subdivision, 1,951.30' to the POINT OF BEGINNING. Containing 22.679 acres, more or less.

EXHIBIT "B" BOOK 408 PAGE 225

MATTERS SHOWN OF RECORD IN THE PUBLIC RECORDS

Exhibit B *Pearl Harbor*
November 19, 1997
765035-024



STATE OF MISSISSIPPI, COUNTY OF MADISON:

I certify that the within instrument was filed for record in my office this 25 day
of Nov, 1997, at 2:40 o'clock P.M., and was duly recorded
on the NOV 25 1997, Book No. 408, Page 222.

STEVE DUNCAN, CHANCERY CLERK

BY: *Parker* D.C.

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CERTIFICATION

For Mid America Apartments L.P., A Tennessee Limited Partnership,
John Hancock Mutual Life Insurance Co. and Longears Title Insurance Corporation

On June 1, 1964, the following information was received from the Bureau of the Census, Washington, D.C. regarding the above-named individual:



AFFIDAVIT OF CHARLES LLEWELLYN

STATE OF Alabama

COUNTY OF Jefferson

I, **CHARLES LLEWELLYN**, am above the age of 21, and of sound mind, and, having been first duly sworn, testify as follows:

1. I am a Regional Vice President at Mid-America Apartments, L.P., which owns and operates the apartment complex at 580 Pear Orchard Road, Ridgeland, Mississippi 39157, known as Pear Orchard Apartments. My territory includes the greater Jackson area and Ridgeland, where this complex is located.

2. There are 389 apartment units in Pear Orchard apartment complex.

3. The complex was originally built on parcels of property that included 22.879 acres.

FURTHER AFFIANT SAYETH NOT.



CHARLES LLEWELLYN

SWORN TO AND SUBSCRIBED BEFORE ME, this the 4th day of August, 2014.

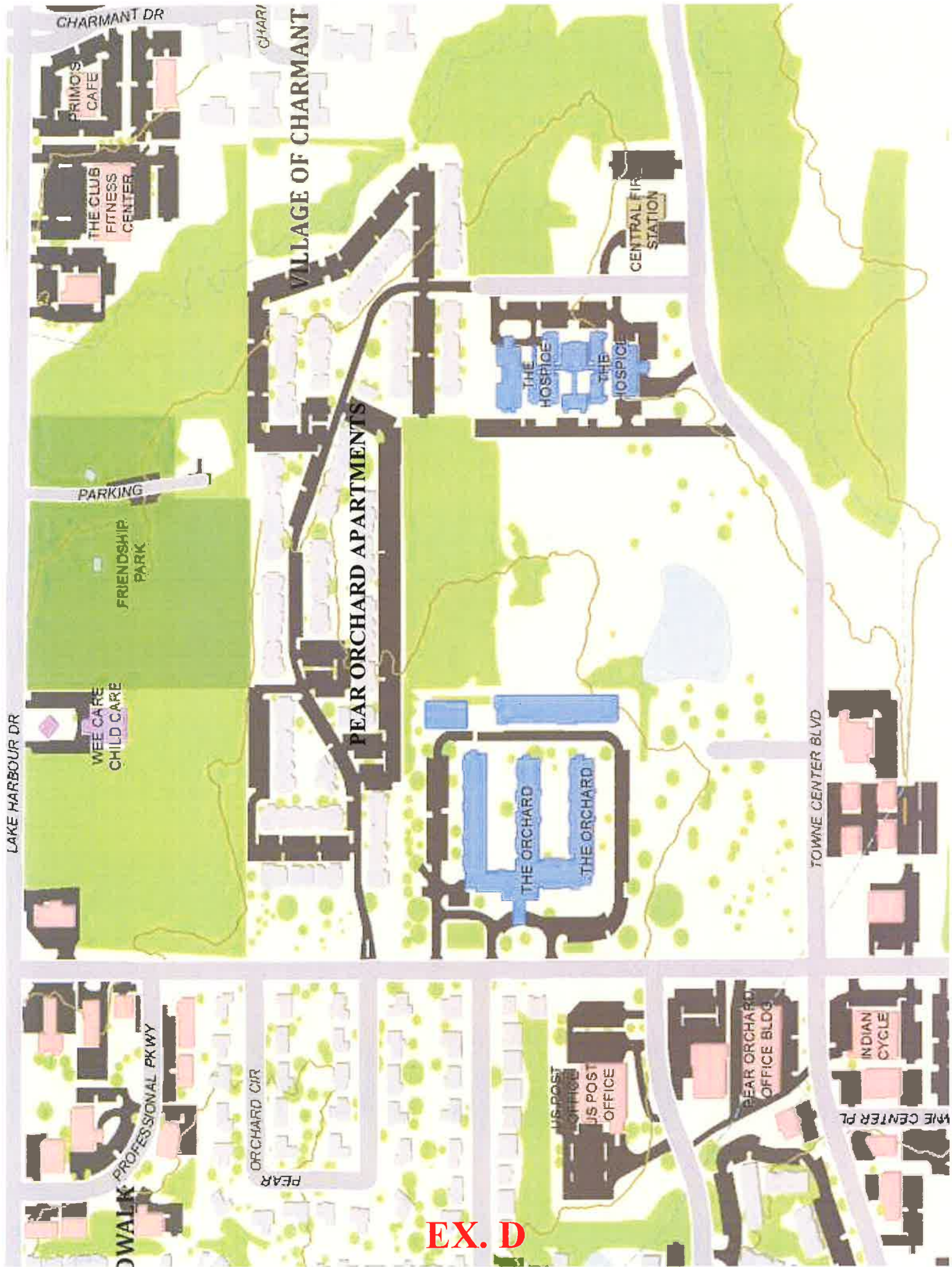


NOTARY PUBLIC

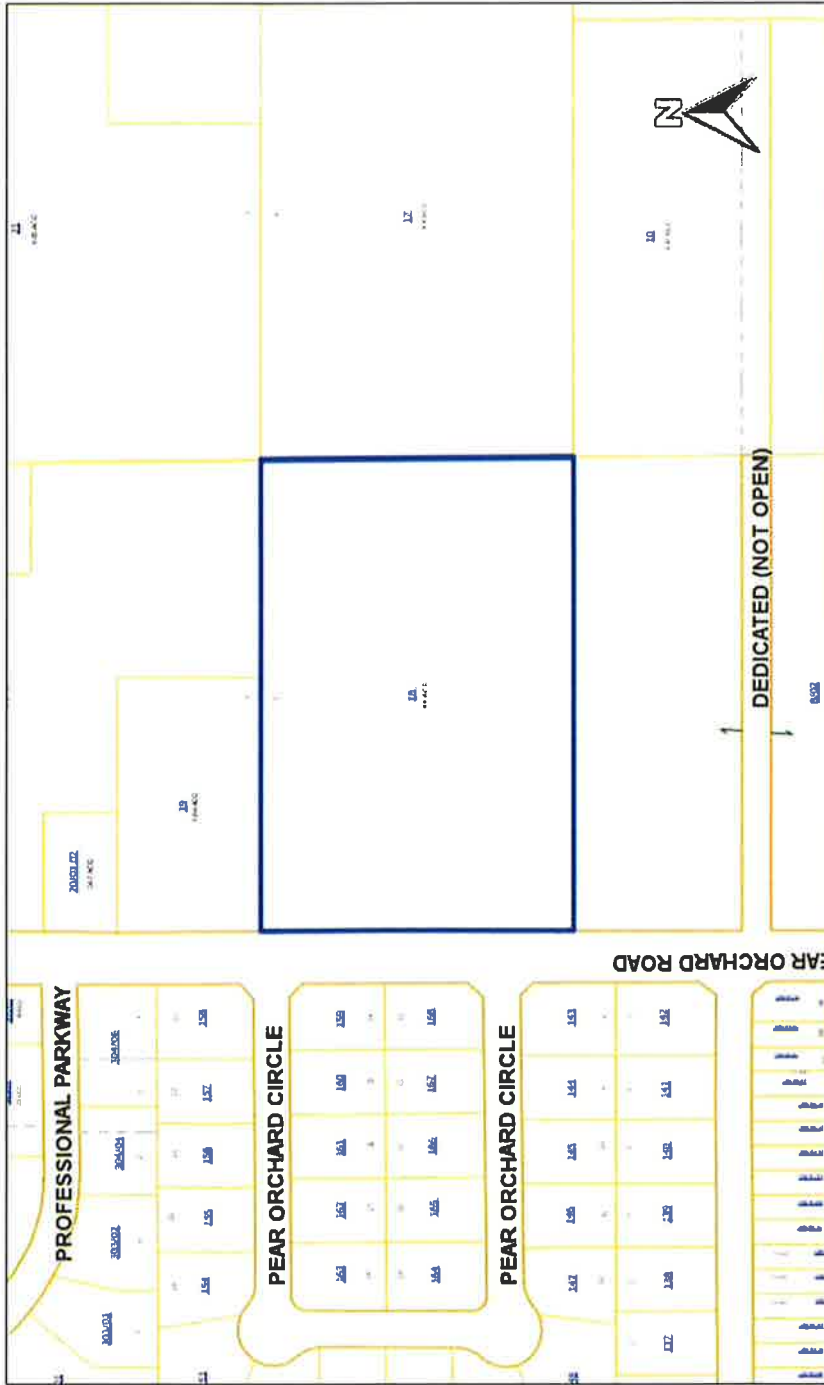
MY COMMISSION EXPIRES:

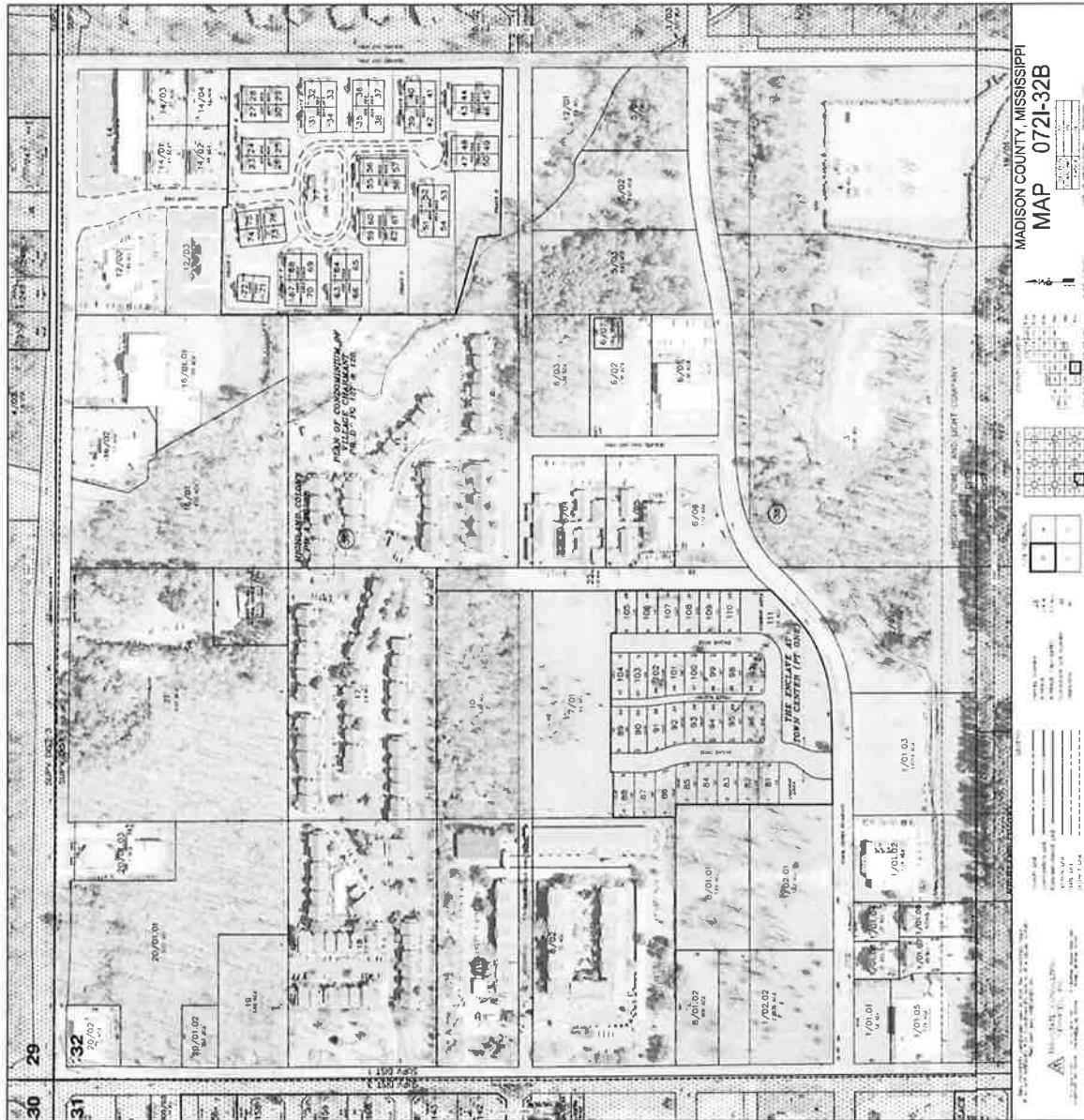
July 19, 2017





Properties Located within 160 Feet from the Pear Orchard Apartments		
PARCEL NUMBER	OWNER	MAILING/PHYSICAL ADDRESS
072I-32B-018/00.00	Mid America Capital Partners	580 Pear Orchard Rd
072I-32B-017/00.00	Mid America Capital Partners	580 Pear Orchard Rd
072I-32B-010/00.00	Ayefour Development	Post Office Box 986 Ridgeland, MS
072I-32B-008/02.00	The Orchard LTD	600 Pear Orchard Rd
072I-32B-019/00.00	Charles G. Gates	Post Office Box 22787 Jackson, MS
072I-32B-020/01.01	Madison Holdings	247 Eastbrook Jackson, MS
072I-32B-021/00.00	City Of Ridgeland	Friendship Park
072I-32B-016/01.01	LH Club Realty LLC	Post Office Box 16436 Jackson, MS
072I-32B-016/01.00	City of Ridgeland	100 Charmont Pl Ridgeland, MS
072I-32B-021/00.00	City Of Ridgeland	No Address
072I-32B-071/00.00	Thomas and June Jones	1301 Charmont Pl Ridgeland, MS
072I-32B-067/00.00	Gina and Alma Stewart	1201 Charmont Pl Ridgeland, MS
072I-32B-070/00.00	Marion Burchak	1204 Charmont Pl Ridgeland, MS
072I-32B-063/00.00	Matt Dyes	1101 Charmont Pl Ridgeland, MS
072I-32B-066/00.00	Feroze Bashir	1104 Charmont Pl Ridgeland, MS
072I-32B-012/00.00	Lake Harbour Road LP	Post Office Box 1260 Ridgeland, MS
072I-32B-005/03.00	Donald McGehee	No Address
072I-32B-006/03.00	Donald McGehee	No Address
072I-32B-006/04.00	Ecumenical Health Care Organization	Post Office Box 2248 Jackson, MS
072I-32B-007/01.00	Ayefour Development	Post Office Box 986 Ridgeland, MS
072I-32B-022/00.00	Hospice Ministries	Post Office Box 1228 Ridgeland, MS
072I-32B-010/00.00	Ayefour Development	Post Office Box 986 Ridgeland, MS
072I-31A-304/06.00	Ernestine Nations Irrevocable Trust	Post Office Box 7 New Hebron, MS
072I-31A-158/00.00	Freddie and Carson Cain	334 Pear Orchard Cir
072I-31A-159/00.00	Claude Boykin	335 Pear Orchard Cir
072I-31A-168/00.00	Denise Stevenson	306 Pear Orchard Cir
072I-31A-143/00.00	Ridgeland Homes, LLC	305 Pear Orchard Cir
072I-31A-142/00.00	Michael Ashford	316 Pear Orchard Cir





BEFORE THE MAYOR AND BOARD OF ALDERMEN OF
THE CITY OF RIDGELAND, MADISON COUNTY, MISSISSIPPI

PETITION FOR CONDITIONAL USE PERMIT

COMES NOW, Hudson Land Company, LLC, A Mississippi limited liability company, and Kroger Limited Partnership I, an Ohio limited partnership, ("the Petitioners"), and each respectfully petitions the Mayor and Board of Aldermen of the City of Ridgeland, Mississippi, to grant a conditional use permit as set forth in Section 600.09 of the City of Ridgeland Zoning Ordinance of February, 2014, as more specifically described in this Petition for that real property described in this Petition, and in support of this Petition would show as follows:

1. The names of the Petitioners are

Hudson Land Company, LLC, a Mississippi limited liability company, and

Kroger Limited Partnership I, an Ohio limited partnership.
2. a. The mailing address of Petitioner Hudson Land Company, LLC (Hudson) and of
Mr. Rayford R. Hudson, III, this Petitioner's representative, is
231 Meadowoods Drive, Jackson, Mississippi 39211.
Mr. Hudson's electronic mail address is
rayfordrhudson@gmail.com
- b. The mailing address of Petitioner Kroger Limited Partnership I (Kroger) and of
Mr. Brian Q. Middleton, this Petitioner's representative, is
800 Ridgelake Blvd., Memphis, Tennessee 38120.
Mr. Middleton's electronic mail address is
Brian.middleton@kroger.com
3. a. The telephone number of Petitioner Hudson and Petitioner Hudson's Representative is 601-955-8161.

- b. The telephone number of Petitioner Kroger and Petitioner Kroger's representative is 901-765-4155.
4. The record title holder of the Subject Property is Petitioner Hudson Land Company, LLC, by virtue the Warranty Deed filed for record in Book 2545 at Page 588 in the office of the Madison County Chancery Clerk. A copy of said Deed is attached hereto as Exhibit "A-1." Subject Property is a part of the land owned by Hudson Land Company, LLC by virtue of said Deed. The legal description of Subject Property is attached hereto as Exhibit "A-2." *A digital text version of this legal description has been transmitted to the Zoning Administrator for use in advertising the public hearing.*
 5. Petitioner Hudson is the owner of Subject Property. Petitioner Hudson as Seller and Petitioner Kroger as Purchaser have entered into a Purchase and Sale Agreement, the completion and closing of which is contingent on City granting the requested Conditional Use.
 6. Written authority of Petitioner Hudson's Representative to act on Hudson's behalf is attached hereto as Exhibit "B-1." Written authority of Petitioner Kroger's Representative to act on Kroger's behalf is attached hereto as Exhibit "B-2."
 7. The street address of Subject Property is:
6922 Old Canton Road, Ridgeland, Mississippi 39157.

The Madison County Tax Parcel ID Numbers of the tax parcels in which Subject Property is located are 072H-33B-141/01.00
072H-33B-142/02.00, and
072H-33B-142/03.00
 8. A copy of a plat or map of the Subject Property certified by a licensed land surveyor is attached as Exhibit "C".
 9. A vicinity map or plat depicting an area of at least 300' surrounding the Subject Property in all directions is attached to this Petition as Exhibit "D". The vicinity map includes the current zoning classification of all lands within 160' of the Subject Property. A vicinity map or plat

depicting the location of Subject Property within Harbour Pointe is attached to this Petition as Exhibit "E".

10. The property is presently zoned C-2A according to the official zoning map of Ridgeland, Mississippi.
11. Petitioner requests that it be granted a conditional use permit as authorized by Section 420.03C of the Zoning Ordinance of the City of Ridgeland, Mississippi, dated February, 2014.

Section 420 General Commercial District (C-2A) (Arterial Streets)
Subsection 420.03 Conditional Uses and Structures as Provided
Under Section 600.09
C. Service Stations subject to Special Use Site Plan Standards
in Section 600.14.F.

12. Petitioner intends to use the subject property for the following purpose(s) in accord with requested classification:

Petitioner Kroger intends to use the Subject Property to provide an easily accessible, conveniently located fuel center at which Petitioner Kroger's Ridgeland customers can redeem fuel points earned on grocery purchases to buy gasoline at discounted prices. This facility is intended to encourage and support shopping at Petitioner Kroger's retail supermarket located at 7045 Old Canton Road.

13. A site plan for development of the property as required by Section 600.09 of the Zoning Ordinance is attached as Exhibit "F".
14. Petitioners acknowledge that in order to assure consideration of the request contained in this Petition, Petitioners must present proof as to all matters required to be proved by Section 600.09 of the Zoning Ordinance and that Petitioners must answer the following questions:

- a. Question: Why does the Petitioner claim that the requested land use fits the site and is compatible with adjacent properties?

Petitioners' Response: Petitioner Kroger's site requirements for its Fuel Centers that are not on the same lot as the store it supports is being close by so customers can easily buy gasoline after leaving the store and being prominently visible at a signalized intersection on a main road. Of the parcels of land available to support Petitioner Kroger's Ridgeland Supermarket, Subject Property is the only acceptable site. There is a service station and a convenience service station at the next street intersection. As will the requested Conditional Use, other nearby land uses depend on the visibility and accessibility from and the volume of traffic on Old Canton Road.

- b. Question: How will the proposed use impact traffic on adjacent streets and highways?

Petitioners' Response: The number of vehicles accessing this Conditional Use is projected to be 40 per hour throughout a 15 hour day. As shown on the Site Plan, ingress and egress will be provided by driveways extending easterly into the property from Old Canton Road and northerly into the Property from Harbour Pointe Crossing. Projections are that one vehicle will enter the Center from Old Canton Road and one vehicle will exit the Center onto Old Canton Road every 2 minutes that one vehicle will enter the Center from Harbour Pointe Crossing and one vehicle will exit the Center onto Harbour Pointe Crossing every 6 minutes. At these rates, traffic having the right-of-way on adjacent streets will be minimally impacted, if at all.

- c. Question. Will the requested land use cause an adverse effect (noise, glare, odor, traffic, use, encroachment, etc.) on abutting property or the permitted use thereof?

Petitioners' Response. The abutting properties are vacant and unimproved. Any prospective buyer and potential user will be aware of the fuel center's operations and will be able to hear, see, smell and otherwise evaluate all impacts of being adjacent to the fuel center. There will be a positive impact on traffic for the prospective user of the property north of the Subject Property (as well as Dairy Queen), because that user will have general easement rights to allow its patrons to cross the east side of the Fuel Center and get out onto Harbour Pointe Crossing. There is no outside speaker system. High intensity lighting will be directed to area under the canopy. Low intensity lighting illuminating areas out from under the canopy will be shrouded. Street lights will illuminate entrances. Kroger fuel does not smell. Fuel fumes dissipate quickly and be undetectable in any area out from under the canopy. No encroachment onto abutting properties is anticipated. Petitioner Hudson is expressly allowing the Old Canton Road driveway curb return, at the location shown on the SitePlan, to extend across the frontage of the lot to the north of Subject Property.

- d. Question. What provision(s) have been made for ingress and egress to the Subject Property and structures located thereon with particular reference to automobile and pedestrian safety, traffic flow, and fire protection?

Petitioners' Response. Sidewalks will abut the adjacent streets and have ADA-compliant ramps in both directions at the street intersections and at the entrances. Location of entrances promotes the clockwise flow of vehicles within the site, but space is adequate for two way traffic. Fuel delivery trucks have adequate room for turning movements. Pedestrians are not expected to enter the Subject Property as all customers of the proposed Conditional Use (except for those who have run out of gas nearby) are anticipated to be in motor vehicles. Fire extinguishers will be located at the kiosk. Fire suppression

water is available from existing fire hydrant at southeast corner of Subject Property.

- e. Question. What provision(s) have been made to provide adequate off-street parking and loading areas in conformance with Section 37.02 Off-Street Parking of this Ordinance?

Petitioners' Response. The proposed Conditional Use does not require parking spaces as contemplated in the Zoning Ordinance. The Use is one that does not require or encourage motorists to park and leave their vehicles to do business. Fuels will be sold from eight (8) double-sided, multi-grade, ADA compliant, credit card activated retail fuel dispensers and pumped directly into customer vehicles. However, eight (8) off-street parking spaces will be provided in an effort to encourage customers who need to interact with the kiosk attendant or who need to use restroom facilities to do so without leaving a vehicle parked at a dispenser. Section 37.02 of the Zoning Ordinance does require that parking spaces meet certain minimum standards and further requires that adequate room for vehicles to maneuver is provided. These requirements are met as shown on the proposed Site Plan.

- f. Question. What provision(s) have been made for refuse storage areas and service areas to be screened from adjoining properties, and are the proposed improvements in conformance with Section 36.07 and Appendix "D"?

Petitioners' Response. The proposed location of a refuse dumpster is shown on the proposed Site Plan. The dumpster enclosure shall meet the requirements of Appendix "D" of the Zoning Ordinance for a Type 1 Dumpster. Enclosure materials will be shown on architectural renderings to be submitted for Architectural Review approval.

- g. Question. What provision(s) have been made for controlling drainage and erosion on/from the proposed site?

Petitioners' Response. All areas of the site will be paved or sodded. Ground disturbing activities facilitating erosion during construction will have to comply with Mississippi Department of Environmental Quality (MDEQ) and City Storm Water Management requirements. Petitioner Kroger acknowledges that ground disturbing activities shall not be commenced until its contractor has first obtained approval from of a Large Construction Notice of Intent (LCNOI) and coverage under the State's Large Construction General Permit for Storm Water Discharges. After completion of construction, practically the entire site will be sloped to drain into inlets installed where necessary on the existing storm sewer buried under the east property line. Storm Water entering this storm sewer or draining into an adjacent street will flow to, and excess flows go through, the Storm Water Detention Facility provided for the entire Harbour Pointe development.

- h. Question. What provision(s) have been made for the availability and connection of utilities?

Petitioners' Response. Water, electrical and telecommunications facilities are in the street rights-of-way adjacent to Subject Property. Sanitary sewer facilities are located along the east side of Subject Property. Utility services to Subject Property will not interfere with utility connections serving adjoining properties. Although not a utility per se, storm water collection facilities are located along the Property's east property line.

- i. Question. What provisions(s) have been made for signage and lighting at the proposed site?

Petitioners' Response. There are no circumstances that will preclude the site of the proposed Conditional Use from having lighting that meets City's requirements. A Photometrics Plan showing the design footcandles of illumination throughout the site is attached as Exhibit "G." There are no circumstances that

will require signage that does not comply with the City's Sign Ordinance. The signage proposed is shown on Exhibit "H."

- j. Question. Does the proposed land use comply with required yards, Landscape Ordinance, and Tree Ordinance?

Petitioners' Response. Yes.

- k. Question. What provision(s) have been made with respect to hours of operation so as not to cause an adverse effect on neighboring properties?

Petitioners' Response. After normal business hours, the requested Conditional Use is not expected to have any adverse effects on neighboring properties which are also commercial. There are no nearby residences.

- l. Question. What provision(s) have been made to adequately address any concern for safety?

Petitioners' Response. All activities (other than in restrooms) will be subject to video-recorded continuous surveillance monitoring and being seen by other customers, the kiosk attendant, and motorists driving on Old Canton Road or Harbour Pointe Crossing. A kiosk attendant is on duty from 6 am to 11 pm. The premises will be well lighted. The kiosk attendant will have a posted list of telephone numbers for emergency response departments and be trained on Emergency Response Procedures for different contingencies.

- m. Question. What provision(s) have been made to address any negative impact on the capacity of public facilities?

Petitioners' Response. No negative impacts on the capacity of public facilities are anticipated. Loading and uses will be less than what would be expected from just about any other use that would be appropriate for this site.

- n. Question. What provision(s) have been made to minimize negative environmental and economic impacts?

Petitioners' Response. There will be a positive aesthetic and ground surface environmental impact as there will be trees and grass on what is now a sparsely vegetated, unimproved lot. No waterways will be affected. Economic impacts are expected to be positive as this fuel center is expected to bring Kroger customers to its Ridgeland Supermarket and Ridgeland Fuel Center rather than having them shop in Kroger supermarket's in adjacent cities.

- o. Question. Does the proposed land use encroach upon flood hazard zones or airport approach zones?

Petitioners' Response. No.

- p. Question. Are there any additional issues that should be addressed in this application?

Petitioners' Response. Yes, as follows:

1. The requested Conditional Use is in conformity with City's Master Plan and Comprehensive Plan generally.
2. The intended use of Subject Property by Petitioner Kroger is identified as a Conditional Use in C-2A zoning districts in City's Zoning Ordinance.
3. The requested Conditional Use will comply with all applicable regulations in the zoning district in which the property in question is located, as may be modified by the approved site plan as set forth in Section 600.11.C.
4. The requested Conditional Use will comply with all special regulations established by this Ordinance for such Use.

5. The requested Conditional Use will not be or detrimental to the public welfare or adversely affect the public interests. The establishment or maintenance of the requested Conditional Use will not be not be injurious to the neighborhood and will not be detrimental to the public health, safety, or general welfare.
6. The requested Conditional Use shall be located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district.
7. The requested Conditional Use will not depreciate values of adjoining or nearby properties.
8. The requested Conditional Use will not be hazardous, detrimental, or disturbing to current surrounding land uses and will not emit objectionable noise, noticeable glare, detectable smoke, visible dust, noxious odor, fumes at dangerous levels; cause water pollution, be amenable to erosion, cause vibration, be generally unsightly, radiate electrical interference, or be considered a nuisance.
9. The requested Conditional Use will not generate more than minimal traffic on local streets, will not create traffic congestion, will not result in unsafe access and will not require parking that would be inconvenient to adjoining properties.
10. The requested Conditional Use will be adequately served by public streets and utilities and will not require extraordinary police or fire protection services; however, its availability will enhance the City's economy and contribute to its positive living environment which will likely put more children in schools and playing sports in its parks.
11. The requested Conditional Use will not create additional requirements at public cost for public facilities and services and will not be detrimental to City's economic welfare.

12. Improvement of the site for the requested Conditional Use will comply with City's Landscape Ordinance, Tree Ordinance and appropriate Design Guidelines.
13. The requested Conditional Use will not produce or have significant adverse environmental effects.
14. The conditions imposed on the requested Conditional Use by the requirements and standards of Section 600.09 of City's Zoning Ordinance are not unreasonable and will not preclude improvement of the site for the Use or impact activities required by the Use.
15. The size and shape of the site, and the capacity and bulk of the requested Conditional Use, will be in character with sites for and current uses on adjacent and nearby properties.
16. The size and shape of the site for the requested Conditional Use is adequate to permit activities contemplated thereon and is adequate for all the yards, setbacks, walls or fences, landscaping, and other features required by City's Zoning Ordinance, all of which will be in character with sites for and current uses on adjacent and nearby properties.
17. The site for the requested Conditional Use properly relates to abutting streets as to width and type of pavement and abutting streets can carry the amount of traffic projected for the Use. There should be no substantial amount of additional traffic generated beyond that which would likely occur if any use permitted outright under C-2A zoning district regulations were to locate on the site. Traffic expected to be generated by the requested Conditional Use compares favorably with the existing traffic capacity of the streets immediately surrounding the site and to the most recent average daily traffic counts. No unreasonable degradation of traffic capacities are expected.

18. There are no uses on the abutting properties that the requested Conditional Use can affect.
19. Ingress and egress to Subject Property and the facilities, including sidewalks, driveways, internal streets and drives, traffic signals, and turning lanes on abutting streets and arterial streets, and activities proposed thereon are adequate for automotive and pedestrian safety and convenience, for traffic flow and control, and for access in case of fire or catastrophe.
20. Required off-street parking and loading areas and refuse and service areas are accommodated by the size and shape of the site without affecting the required yards (setbacks).
21. Screening and/or buffering on the periphery of Subject Property to control of noise, glare, odor, or other potentially adverse effects of the requested Conditional Use on abutting and nearby properties will not be necessary.
22. The size, shape and topography of Subject Property will allow adequate and regulatory-acceptable control and management of drainage and erosion.
23. The location, availability and sufficiency of public utilities to serve the requested Conditional Use are ideal for the Use.
24. With reference to glare, traffic safety, and compatibility and harmony with adjoining properties and the character of the area, signs and lighting will be appropriate and unobjectionable.
25. There are no trees or attractive natural features of the land worthy of preservation within Subject Property.
26. The size and shape of Subject Property allows all required yards and other open spaces to be achieved.

27. The requested Conditional Use will be operational 24/7, but such will not be unacceptably incompatible with uses of adjacent and nearby properties. Activities on Subject Property are not contemplated as being other than occasional from 11 pm to 6 am, otherwise there would be a kiosk attendant on duty.
28. Activities on the site close to its boundaries should not be incompatible with activities on abutting properties when the latter occur. The proposed Site Plan has placed facilities in contemplation of intensive and passive uses being closer to where intensive uses are expected on abutting properties.
29. Only fuel tanks and dispensers meeting State and Federal requirements will be installed. Fuel tanks will be installed underground. Monitoring wells will be provided to permit periodic checking for leaking tanks. Underground tanks are not near residential areas or ground water aquifers.
30. The requested Conditional Use will have little impact on the capacity of public facilities and will not take an excessive share of the available capacity of City water and sanitary waste water facilities, storm drainage channels, schools, and recreational facilities. There is not a need to scale back the requested Conditional Use to prevent overloading of public facilities, nor will there a necessity for Petitioners to contribute to the cost of City meeting an excess overload.
31. Minimal negative environmental and economic impacts are expected. The imposition of conditions to mitigate negative impacts based on the known and significant probability that damage will occur in the future will not be necessary.
32. The Subject Property does not encroach upon flood hazard zones or airport approach zones.

Before the Mayor and Board of Aldermen
Petition for Conditional Use
City of Ridgeland

Hudson Land Company, LLC, and
Kroger Limited Partnership I
Petitioners

15. Petitioners acknowledge that prior to approving any petition, a public hearing must be held in accordance with Section 600.15 of the Zoning Ordinance. At the public hearing the petitioner will be required to provide proof in the form of testimony and documents as to each of the matters listed in paragraph 14 of this petition.
16. Petitioner believes that the reasons set forth in this petition justify the granting of the conditional use permit.
17. Petitioner would show that the planned use of the property and the conditional use permit would be in harmony with the general purpose and intent of the land uses permitted in the use district where the property is located, and would not be injurious to the neighborhood or detrimental to the public welfare.
18. The required \$150.00 filing fee has been paid with the filing of this Petition. Respectfully submitted,

PETITIONER

Hudson Land Company, LLC


Rayford R. Hudson, III

PETITIONER

Kroger Limited Partnership I


Brian Q. Middleton

Space Above Line for Official Use Only

Prepared by and return to:

Patrick F. McAlister
Williford McAllister & Jacobus
303 Highland Park Cove, Suite A
Ridgeland, MS 39157-6059
Telephone: 601.991.2000

W. Eager
pa 12 802

GRANTOR:

Lake Harbour Crossing Investments, LLC
231 Meadowoods Drive
Ridgeland, MS 39157
Telephone: 601.956.1728

GRANTEE:

Hudson Land Company, LLC
231 Meadowoods Drive
Ridgeland, MS 39157
Telephone: 601.956.1728

Indexing Instructions:

NW ¼ of NW ¼ and NE ¼ of NW ¼ of Section 33, T7N, R2E,
Madison County, Mississippi

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) cash in hand paid,
and other good, legal and valuable consideration, the receipt and sufficiency of which is hereby
acknowledged, the undersigned **Lake Harbour Crossing Investments, LLC**, a Mississippi
limited liability company, Grantor, does hereby sell, convey and warrant unto **Hudson Land
Company, LLC**, a Mississippi limited liability company, Grantee, the following land and

property located and situated in Madison County, Mississippi, and being more particularly described as follows, to-wit:

SEE EXHIBIT A ATTACHED HERETO AND MADE
A PART HEREOF FOR THE LEGAL DESCRIPTION.

IT IS AGREED AND UNDERSTOOD that the taxes for the current year are assumed and will be paid by the Grantee.

This conveyance and the warranty herein contained are made subject to the following exceptions:

1. Ad valorem taxes for 2010 and future years;
2. Any and all prior oil, gas and other mineral severances, reservations and conveyances of record;
3. Terms and conditions of that certain Declaration of Covenants, Conditions and Restrictions for Harbour Pointe executed by Lake Harbour Crossing Investments, LLC, dated September 26, 2008, and recorded in Book 2356 at Page 834;
4. Terms and conditions of that certain First Amendment to Declaration of Covenants, Conditions and Restrictions for Harbour Pointe recorded in Book 2396 at Page 583;
5. Right of Way in favor of Entergy Mississippi, Inc., dated February 15, 2008 and recorded in Book 2299 at Page 65;
6. Judgment in the Special Court of Eminent Domain establishing a 20' perpetual sanitary sewer easement to City of Ridgeland as set forth in instrument recorded in Book 406 at Page 683;

7. Easement reserved in favor of Richard Cockrell and other terms and conditions contained in Warranty Deed from Richard Cockrell to Lake Harbour Crossing Investments, LLC recorded in Book 2157 at Page 159;

8. Terms and conditions contained in that certain Warranty Deed from Lake Harbour Crossing Investments, LLC to Richard Cockrell recorded in Book 2157 at Page 172;

9. Easement and other terms and conditions contained in that certain Special Warranty Deed and Permanent Easement conveyance from Lake Harbour Crossing Investments, LLC to City of Ridgeland, Mississippi recorded in Book 2226 at Page 981;

10. Terms and conditions contained in that certain Warranty Deed from Lake Harbour Crossing Investments, LLC to Old Canton Road Investors, LLC recorded in Book 2396 at Page 564;

11. Terms and conditions of that certain Easement Agreement from Lake Harbour Crossing Investments, LLC to Old Canton Road Investors, LLC recorded in Book 2396 at Page 570;

12. Terms and conditions as set forth in that certain Warranty Deed from Lake Harbour Crossing Investments, LLC to Johnson's Foods, Inc., recorded in Book 2357 at Page 686; and

13. Leases with Lamar Companies for outdoor advertising structures and related matters recorded in Book 435 at Page 187 and Book 435 at Page 203.

14. Deed of Trust executed by Lake Harbour Investments, LLC, to Thomas R. Hudson, Trustee for BankPlus, Beneficiary, dated January 19, 2007, filed on January 25, 2007

and recorded in Book 2147 at Page 585 in the amount of \$3,000,000.00. Said deed of trust was re-recorded on November 21, 2007 in Book 2260 at Page 321.

WITNESS THE EXECUTION OF THIS INSTRUMENT, this the 4TH day of June, 2010.

GRANTOR:

Lake Harbour Crossing Investments, LLC
a Mississippi limited liability company

By: Hudson Investment Company, LLC, its
sole member and manager

By: [Signature]
Rayford R. Hudson III,
managing member

STATE OF MISSISSIPPI
COUNTY OF Madison

Personally appeared before me, the undersigned authority in and for the said county and state, on this 4th day of June, 2010, within my jurisdiction, the within named Rayford R. Hudson III, who acknowledged to me that he is the managing member of Hudson Investment Company, LLC, a Mississippi limited liability company which is sole member and manager of Lake Harbour Crossing, LLC, a Mississippi limited liability company, and that for and on behalf of Hudson Investment Company, LLC, as sole member and manager of Lake Harbour Crossing Investments, LLC, and as the act and deed of Hudson Investment Company, LLC as sole member and manager of Lake Harbour Crossing Investments, LLC, and as the act and deed of Lake Harbour Crossing Investments, LLC, he executed the above and foregoing instrument, after first having been duly authorized by Lake Harbour Crossing Investments, LLC and Hudson Land Company, LLC so to do.

MY COMMISSION EXPIRES



[Signature]
NOTARY PUBLIC

EXHIBIT A

Commence at the corner common to Sections 28, 29, 32 and 33, Township 7 North, Range 2 East, Madison County, Mississippi, and run thence South $00^{\circ} 17' 30''$ East for a distance of 647.44' to a point; run thence North $89^{\circ} 42' 30''$ East for a distance of 40.40' to a point on the east right-of-way line of Old Canton Road, a public street, as said east right-of-way line south of this point was established by the acquisition of that certain 0.153 acre parcel of land conveyed to the City of Ridgeland by and described in the Easement and Right-Of-Way instrument that is filed for record in the office of the Chancery Clerk of Madison County, Mississippi, at Canton, Mississippi, in Book 227 beginning at Page 172, reference to which is hereby made for all purposes, said point being also the northwest corner of that certain 27.277 acre parcel of land conveyed by and described in the Correction Deed filed for record in the office of said Chancery Clerk in Deed Book 2169 beginning at Page 95, reference to which is hereby made for all purposes, and said corner being also the northwest corner of that certain 0.800 acre parcel of land conveyed by and described in that certain Warranty Deed filed for record in the office of said Chancery Clerk in Deed Book 2357 beginning at Page 686 thereof, reference to which is hereby made for all purposes; run thence North $89^{\circ} 42' 30''$ East along the north boundary of said 27.277 acre parcel of land and along the north boundary of said 0.800 acre parcel of land for a distance of 270.00' to the northeast corner of said 0.800 acre parcel of land, said corner being also the point of beginning of the parcel of land that is more particularly described hereinafter, to-wit:

Continue thence North $89^{\circ} 42' 30''$ East along the north boundary of said 27.277 acre parcel of land for a distance of 60.00' to a corner on the west boundary of that certain 3.060 acre parcel of land conveyed by and described in that certain Warranty Deed filed for record in the office of said Chancery Clerk in Deed Book 2396 beginning at Page 564 thereof, reference to which is hereby made for all purposes; run thence South $00^{\circ} 17' 30''$ East along the west boundary of said 3.060 acre parcel of land for a distance of 391.60' to the southwest corner of said 3.060 acre parcel of land on the north right-of-way line of Harbour Pointe Crossing, a private street having a right-of-way width of 60 feet, said right-of-way line at this point being in a curve to the right subtending a central angle of $13^{\circ} 51' 35''$ and having a radius of 1,060.00' with the radius point of this curve being South $08^{\circ} 45' 30''$ East of this point; run thence along said north right-of-way line of Harbour Pointe Crossing as follows: run thence northeasterly along this curve to the right clockwise for an arc distance of 256.41' (chord bearing and distance: North $88^{\circ} 10' 18''$ East, 255.79') to the point of tangency of this curve; run thence South $84^{\circ} 53' 54''$ East for a distance of 6.68' to the southeast corner of said 3.060 acre parcel of land; leaving said north right-of-way line of Harbour Pointe Crossing, run thence North $00^{\circ} 17' 30''$ West for a distance of 510.37' to the northeast corner of said 3.060 acre parcel of land, said point being also a corner on the boundary of said 27.277 acre parcel of land, said point being also the southeast corner of that certain 1.677 acre parcel of land conveyed by, described in and identified as Parcel 1 in the Special Warranty Deed that is filed for record in the office of said Chancery Clerk in Book 1834 beginning at page 464 thereof, reference to which is

hereby made for all purposes; run thence along the boundary of said 27.277 acre parcel of land as follows: run thence North 06° 15' 42" East along the east boundary of said 1.677 acre parcel of land for a distance of 355.06' to the northeast corner of said 1.677 acre parcel of land; continue thence North 06° 15' 42" East for a distance of 7.14' to a point on the south right-of-way line of Lake Harbour Drive, a public street formerly known as Charity Church Road and/or Spillway Road, as said south right-of-way line is established by three long-established concrete right-of-way markers; run thence South 76° 54' 00" East along said south right-of-way line of Lake Harbour Drive for a distance of 702.18' to the northwest corner of that certain 0.477 acre parcel of land conveyed to H. Power Hearn by and described in the Special Warranty Deed filed for record in the office of said Chancery Clerk in Book 403 beginning at Page 383 thereof, reference to which is hereby made for all purposes, run thence South 00° 18' 11" East along the west line of said 0.477 acre parcel of land for a distance of 100.20' to an iron pin at the southwest corner thereof, said iron pin being also the northwest corner of that certain 17.075 acre parcel of land conveyed by and described in the General Warranty Deed filed for record in the office of said Chancery Clerk in Book 422 beginning at Page 675, reference to which is hereby made for all purposes; continue thence South 00° 18' 11" East along the west boundary of said 17.075 acre parcel of land for a distance of 898.31' to a point on the north line of Village Square Subdivision, Part 1, a subdivision according to the map or plat thereof filed for record in the office of said Chancery Clerk in Plat Cabinet B in Slide 38, reference to which is hereby made for all purposes; run thence North 89° 58' 39" West for a distance of 1,004.99' to the southeast corner of that certain 1.162 acre parcel of land conveyed by and described in the Warranty Deed filed for record in the office of said Chancery Clerk in Book 2157 beginning at Page 172 thereof, reference to which is hereby made for all purposes; leaving the boundary of said 27.277 acre parcel of land, run thence North 00° 17' 30" West along the east boundary of said 1.162 acre parcel of land for a distance of 213.15' to the northeast corner thereof on the south right-of-way line of said Harbour Pointe Crossing, said right-of-way line at this point being on a curve to the left subtending a central angle of 07° 51' 34" and having a radius of 1,000.00 feet with the radius point of this curve being South 10° 48' 31" East of this point; run thence along said south right-of-way line of Harbour Pointe Crossing as follows: run thence southwesterly along this curve to the left counterclockwise for an arc distance of 137.17' (chord bearing and distance: South 75° 15' 42" West, 137.07') to the point of tangency of this curve which is also the point of reverse curvature of a curve to the right subtending a central angle of 16° 05' 06" and having a radius of 535.00 feet; run thence southwesterly along this curve to the right clockwise for an arc distance of 150.19' (chord bearing and distance: South 79° 22' 27" West, 149.70') to a point; run thence South 44° 05' 53" West for a distance of 14.54' to a point; run thence South 89° 42' 30" West for a distance of 21.82' to a point on said east right-of-way line of Old Canton Road; leaving the south right-of-way line of said Harbour Pointe Crossing, run thence North 00° 17' 30" West along said east right-of-way line of Old Canton Road for a distance of 125.00' to the northwest corner of that certain 0.430 acre parcel of land conveyed by and described in the Warranty Deed filed for record in the office of said Chancery Clerk in Deed Book 321 beginning at Page 427, reference to which is hereby made for all purposes, said point being on the west

boundary of said 27.277 acre parcel of land; continue thence North 00° 17' 30" West along said east right-of-way line of Old Canton Road and along said west boundary of said 27.277 acre parcel of land for a distance of 275.09' to the southwest corner of said 0.800 acre parcel of land; run thence North 89° 42' 30" East along the south boundary of said 0.800 acre parcel of land for a distance of 270.00' to the southeast corner of said 0.800 acre parcel of land; run thence North 00° 17' 30" West along the east boundary of said 0.800 acre parcel of land for a distance of 129.00' to the point of beginning.

The above described parcel of land contains 984,398 square feet, more or less, or 22.598 acres, more or less, and is situated in the Northwest Quarter of the Northwest Quarter (NW1/4 NW1/4) and in the Northeast Quarter of the Northwest Quarter (NE1/4 NW1/4) of Section 33, Township 7 North, Range 2 East, Madison County, Mississippi. The corner common to Sections 28, 29, 32 and 33, Township 7 North, Range 2 East, Madison County, Mississippi, is located 132.32' North 39° 58' 50" West of a concrete right-of-way marker at the intersection of the south right-of-way line of Lake Harbour Drive and the east right-of-way line of Old Canton Road. Bearings used in this description refer to the Mississippi Coordinate System, West Zone, and these bearings if rotated clockwise 00° 11' 02" will refer to True North based on Solar Observation.

The above described parcel of land also being described as and being one and the same property as: (i) that certain .383 acre, more or less, parcel of land described in Warranty Deed filed for record in Book 2157 at Page 159 together with (ii) that certain 27.277 acre, more or less, parcel of land described in the Correction Deed filed in Book 2169 at Page 95; less and excepting therefrom (i) the 1.162 acre, more or less, parcel of land described in Warranty Deed recorded in Book 2157 at Page 172; (ii) the point .040 acre, more or less, parcel of land described in Special Warranty Deed and Permanent Easement Conveyance recorded in Book 2226 at Page 981; (iii) the .800 acre, more or less, parcel of land described in Warranty Deed filed in 2357 at Page 686; and (iv) the 3.060 acre, more or less, parcel of land described in Warranty Deed recorded in Book 2396 at Page 564.

Together with:

Non-exclusive, permanent utility and drainage easement upon, over and across a parcel of land commonly referred to as Parcel Eight, said easement created in Warranty Deed recorded in Book 2157 at Page 159 and more particularly described Exhibit C thereto.

And together with:

Non-exclusive, permanent utility and drainage easements upon, over and across parcels of land commonly referred to as Parcel Three and Parcel Four, said easements created in Warranty Deed recorded in Book 2157 at Page 172, and more particularly described in Exhibit C and Exhibit D thereto;

And together with:

A non-exclusive, permanent utility and drainage easement approximately 15 feet in width and those certain vehicular and pedestrian ingress and egress easement and other rights concerning a "Community Driveway" as said easements and other rights were created and are more particularly described in Warranty Deed recorded in Book 2396 at Page 564.

HUDSON LAND COMPANY KROGER FUEL SITE

Legal Description

Commence at the corner common to Sections 28, 29, 32 and 33, Township 7 North, Range 2 East, Madison County, Mississippi, and run thence South $00^{\circ} 17' 30''$ East for a distance of 647.44' to a point; run thence North $89^{\circ} 42' 30''$ East for a distance of 40.40' to a point on the east right-of-way line of Old Canton Road, a public street, as said east right-of-way line south of this point was established by the acquisition of that certain 0.153 acre parcel of land conveyed to the City of Ridgeland by and described in the Easement and Right-Of-Way instrument that is filed for record in the office of the Chancery Clerk of Madison County, Mississippi, at Canton, Mississippi, in Book 227 beginning at Page 172, reference to which is hereby made for all purposes, said point being also the northwest corner of that certain 27.277 acre parcel of land conveyed by and described in the Correction Deed filed for record in the office of said Chancery Clerk in Deed Book 2169 beginning at Page 095, reference to which is hereby made for all purposes; run thence South $00^{\circ} 17' 30''$ East along said east right-of-way line of Old Canton Road for a distance of 270.56' to the point of beginning of the parcel of land that is more particularly described hereinafter, to-wit:

Continue thence South $00^{\circ} 17' 30''$ East along said east right-of-way line of Old Canton Road for a distance of 146.46' to a point at the west end of the flare in the intersecting rights-of-way lines of said east right-of-way line of Old Canton Road and the north right-of-way line of Harbour Pointe Crossing, a private street; run thence South $45^{\circ} 06' 00''$ East for a distance of 31.22' to the east end of said flare; run thence along said north right-of-way line of Harbour Pointe Crossing as follows: run thence North $89^{\circ} 54' 00''$ East for a distance of 41.53' to the point of curvature of a curve to the left that subtends a central angle of $16^{\circ} 12' 59''$, that has a radius of 465.01' and that rotates clockwise about its radius point; run thence along this curve to the left counterclockwise for an arc distance of 131.61' (chord bearing and distance: North $81^{\circ} 47' 31''$ East, 131.17') to the point of tangency of this curve which is also the point of reverse curvature of a curve to the right that subtends a central angle of $05^{\circ} 54' 53''$, that has a radius of 1,060.03' and that rotates clockwise about its radius point; run thence along this curve to the right clockwise for an arc distance of 109.43' (chord bearing and distance: North $76^{\circ} 38' 28''$ East, 109.38') to a point; run thence North $00^{\circ} 17' 30''$ West for a distance of 125.95' to a point; run thence South $89^{\circ} 42' 30''$ West for a distance of 300.00' to the point of beginning.

The above described parcel of land contains 46,262 square feet, more or less, or 1.062 acres, more or less, and is situated in the Northwest Quarter of the Northwest Quarter (NW1/4 NW1/4) of Section 33, Township 7 North, Range 2 East, Madison County, Mississippi. The corner common to Sections 28, 29, 32 and 33, Township 7 North, Range 2 East, Madison County, Mississippi, is located 132.32' North $39^{\circ} 58' 50''$ West of a concrete right-of-way marker at the intersection of the south right-of-way line of Lake Harbour Drive and the east right-of-way line of Old Canton Road. Bearings used in this description refer to the Mississippi Coordinate System, West Zone, and these bearings if rotated clockwise $00^{\circ} 11' 02''$ will refer to True North based on Solar Observation.

EXHIBIT "A-2"

Petition for Conditional Use Permit
Legal Description of Subject Property

HUDSON LAND COMPANY, LLC

Developer of Harbour Pointe

231 Meadowoods Drive, Jackson 39211

Telephone: 601-955-8161 Email: rayfordrhudson@gmail.com

August 8, 2014

Zoning Administrator
City of Ridgeland
314 Highway 51
Ridgeland, MS 39157

Re: Petition for a Conditional Use for a Kroger Fuel Center in Ridgeland

This letter is to indicate that the undersigned Sole Member of Hudson Land Company, LLC has the authority to act on behalf of Hudson Land Company, LLC in all matters respecting the Petition for a Conditional Use for a Kroger Fuel Center at the corner of Old Canton Road and Harbour Pointe Crossing in the City of Ridgeland.

Sincerely yours,


Rayford R. Hudson, III
Sole Member

EXHIBIT "B-1"
Petition for Conditional Use Permit
Hudson Authorization Letter



DELTA DIVISION

800 RIDGE LAKE BLVD. • P.O. BOX 1878 • MEMPHIS, TENNESSEE 38101-1878

August 15, 2014

Zoning Administrator
City of Ridgeland
314 Highway 51
Ridgeland, MS 39157

Re: Petition for a Conditional Use for a Kroger Fuel Center in Ridgeland

Gentlemen:

This letter is to indicate that Mr. Brian Q. Middleton has the authority to act on behalf of Kroger Limited Partnership I in all matters respecting the Petition for a Conditional Use for a Kroger Fuel Center at the corner of Old Canton Road and Harbour Pointe Crossing in the City of Ridgeland.

Sincerely yours,

A handwritten signature in black ink, appearing to read "D. Brislin".

David Brislin
Vice-President - Operations

EXHIBIT "B-2"

Petition for Conditional Use Permit
Middleton Authorization Letter

Exhibit "D"

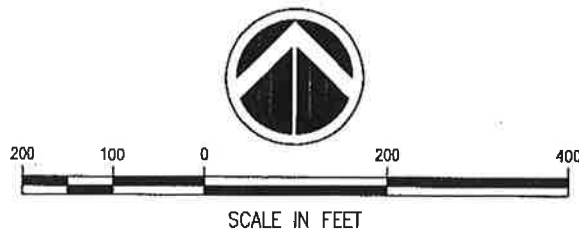
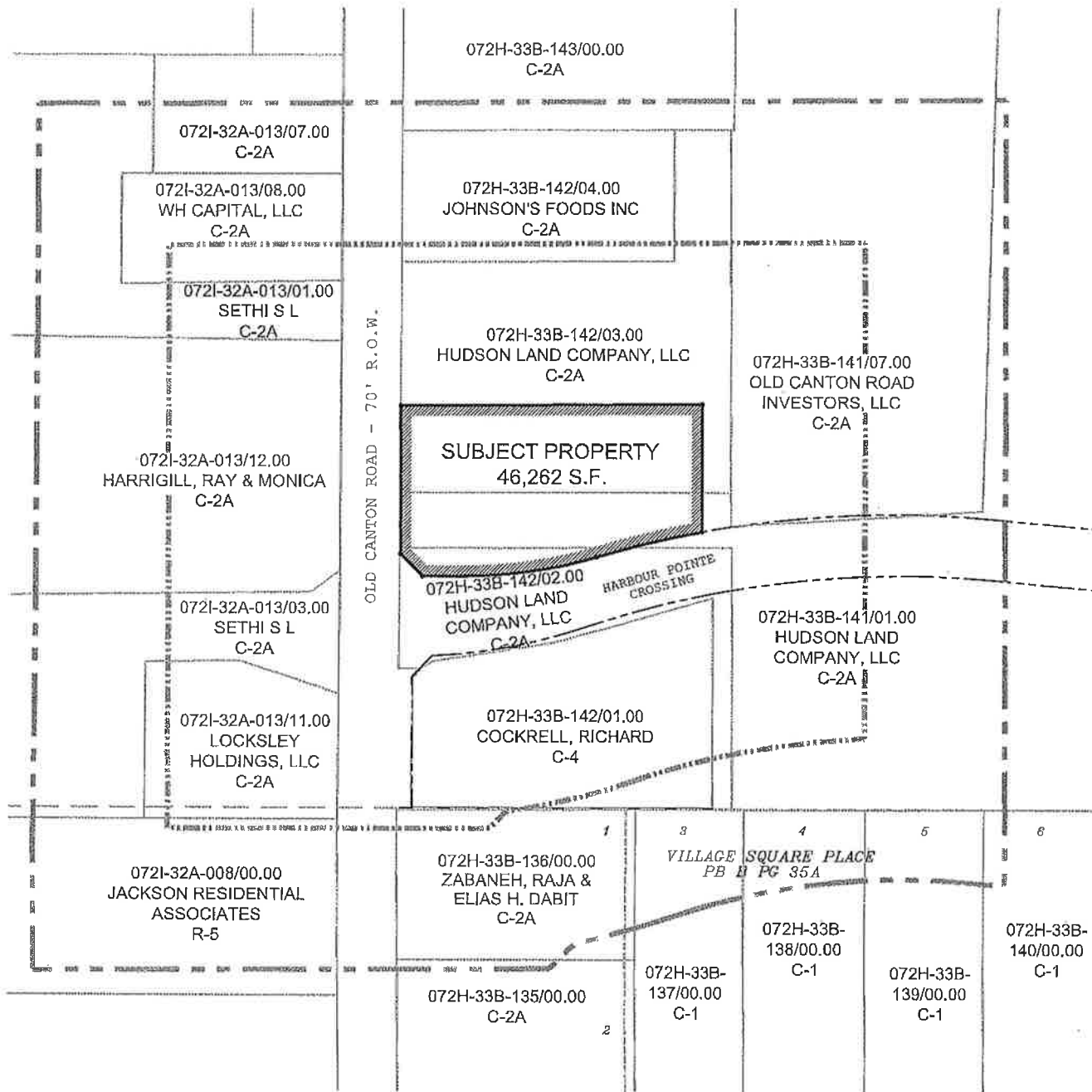


EXHIBIT "D"
 Petition for
 Conditional Use Permit
 Vicinity Map of Subject Property

**VICINITY MAP OF
 SUBJECT PROPERTY
 CITY OF RIDGELAND
 MADISON COUNTY, MISSISSIPPI**

STERLING
Consultants
 INCORPORATED
 CONSULTING ENGINEERS

"THE PROPERTY" **HARBOUR POINTE CROSSING** **CITY OF RIDGELAND** **MADISON COUNTY, MISSISSIPPI**



NOT TO SCALE

Mugshots
1.284 Acres

REMNANT
42,468 S.F.
0.975 Acres

PREMISES
46,262 S.F.
1.062 Acres

FRESHWAY
PRODUCE

SIGNALIZED
INTERSECTION

OLD CANTON ROAD

10' INFRASTRUCTURE
EASEMENT

10' INFRASTRUCTURE
EASEMENT

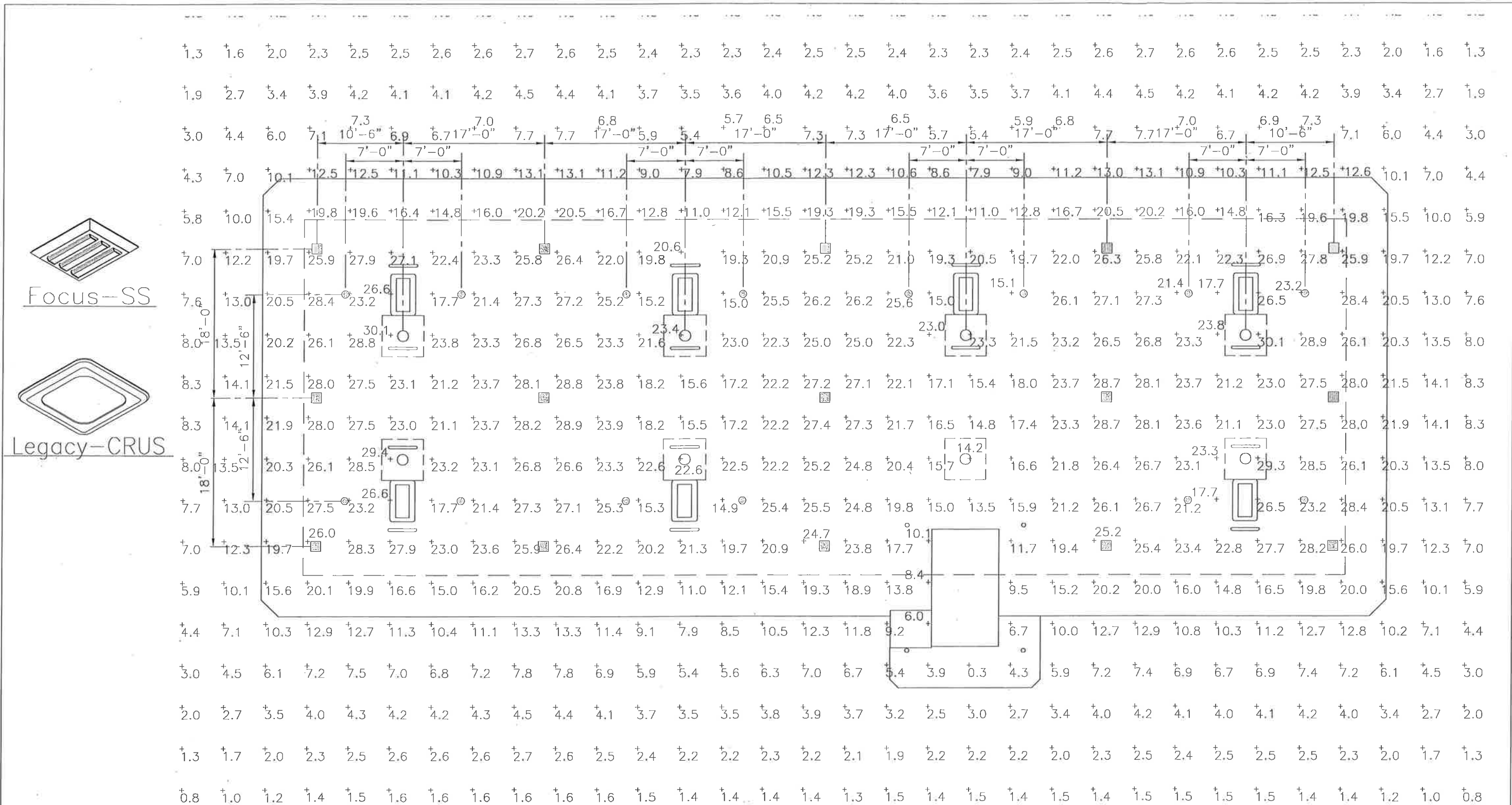
STORM WATER
MANAGEMENT
FACILITY

DETENTION
PARCEL

STERLING
Consultants
 CONSULTING ENGINEERS

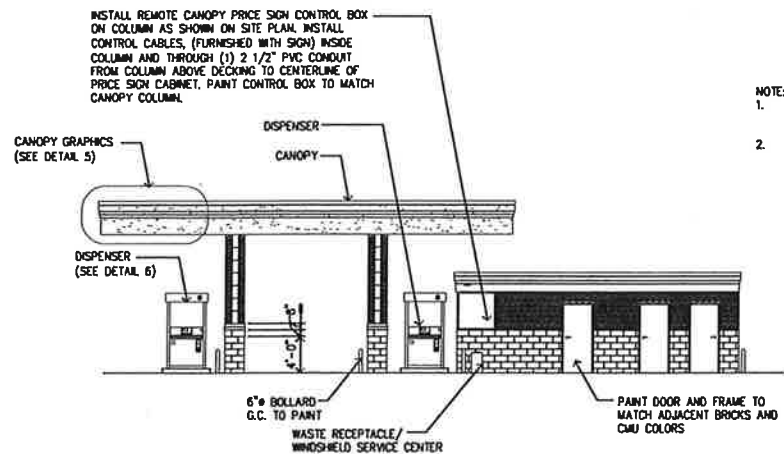
EXHIBIT "E"

Petition for Conditional Use Permit
 Location of Subject Property



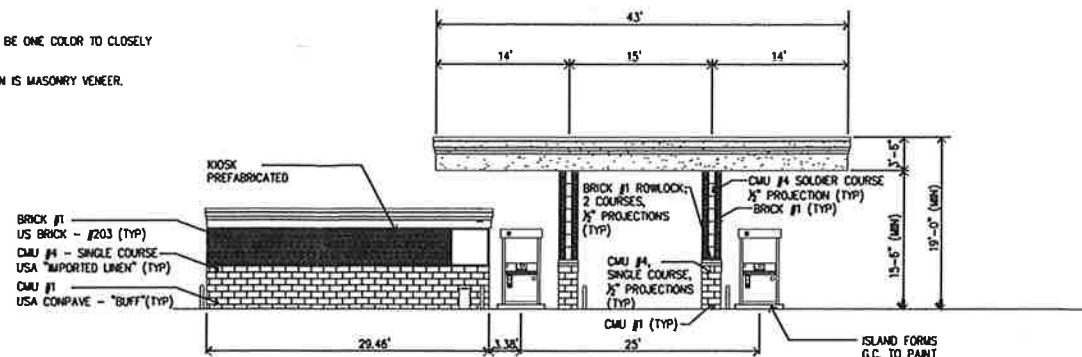
STATISTICAL AREA SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	23.43	30.1	10.1	2.32	2.98

LUMINAIRE SCHEDULE						
SYMBOL	QTY	LABEL	DESCRIPTION	LUMENS	LLF	MODEL #
⊙	14	FOCUS	GENERATION 3, SUPER SAVER	2,674	1.0	CRO3-FO-LED-30-SS-CW-UE-WHT
⊠	15	CRUS	LEGACY CRUS SERIES, SUPER SAVER	13,554	1.0	CRUS-SC-LED-SS-CW-UE-WHT

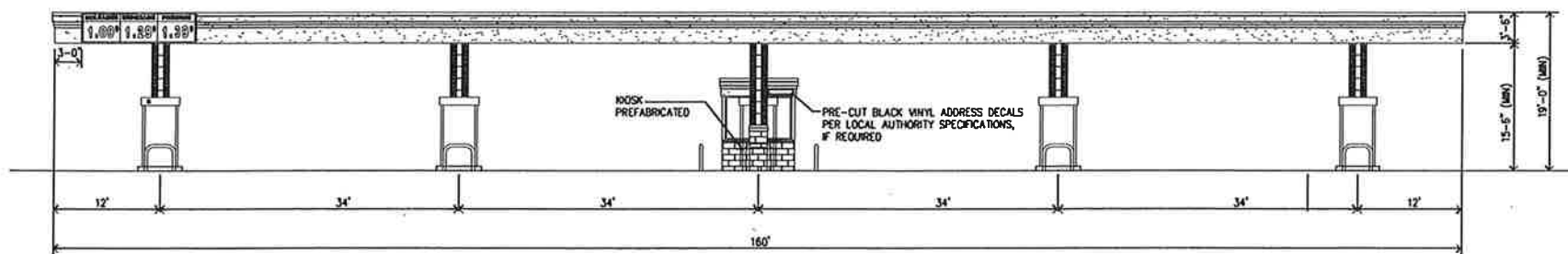


1 RIGHT ELEVATION
SCALE: NTS

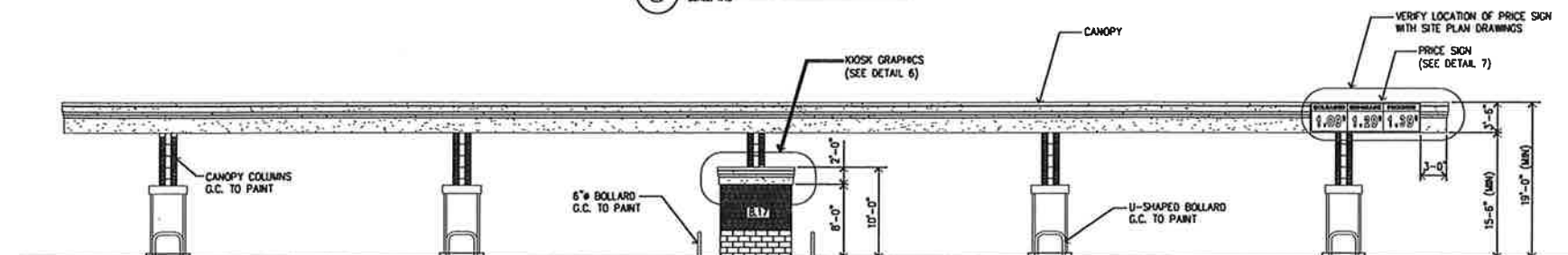
- NOTE:
1. MORTAR COLOR SHALL BE ONE COLOR TO CLOSELY MATCH BRICK #1.
2. BRICK AND CMU SHOWN IS MASONRY VENEER.



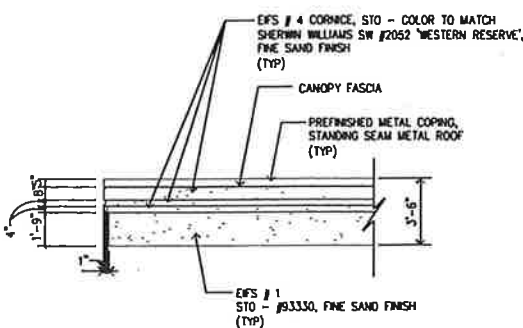
2 LEFT ELEVATION
SCALE: NTS



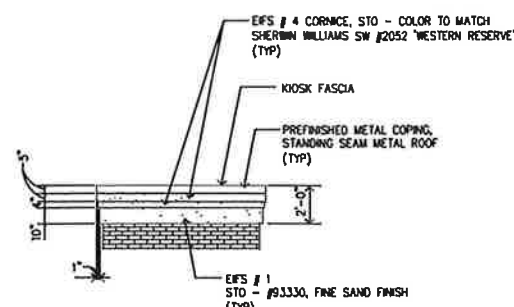
3 FRONT ELEVATION
SCALE: NTS



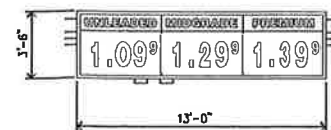
4 REAR ELEVATION
SCALE: 1/8\"/>



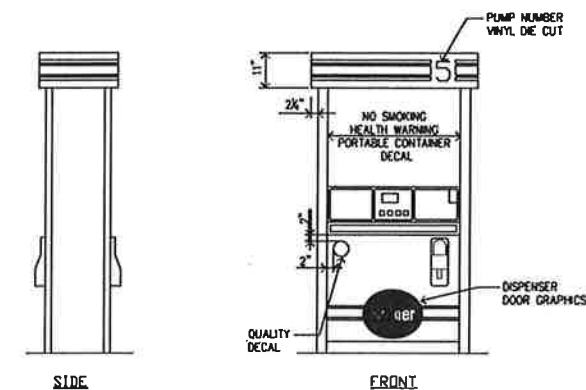
5 CANOPY GRAPHICS
SCALE: NTS



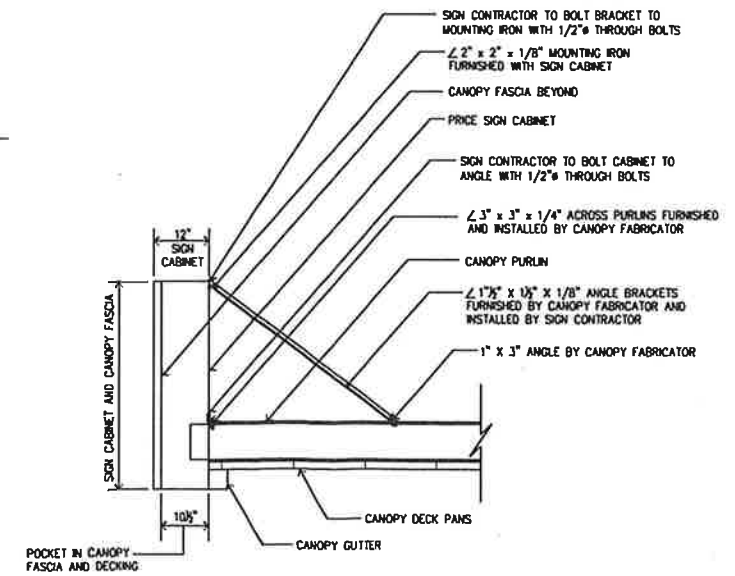
6 KIOSK GRAPHICS
SCALE: NTS



7 CANOPY PRICE SIGN GRAPHICS
SCALE: NTS



9 DISPENSER ELEVATION
SCALE: NTS



8 SECTION AT CANOPY SIGN
SCALE: NTS

EXHIBIT "H"
Petition for Conditional Use Permit
Signage



KROGER DELTA MARKETING AREA
800 Ridge Lake Blvd
Memphis, TN 38120
Phone (901) 765-4189
Fax (901) 765-4163



PRELIMINARY - NOT
FOR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION
No.		

Project #: 23564.03
Designed By: PFI
Drawn By: PFI
Checked By: PFI
Date: AUGUST 2014
Scale: AS NOTED
Clk File:
Model:

Address: 7045 OLD CANTON ROAD
ROCKLAND, MS 39157

A2.0

Drawing No.:
EXTERIOR ELEVATIONS
AND SIGNAGE

HUDSON LAND COMPANY, LLC

Developer of Harbour Pointe

231 Meadowoods Drive, Jackson 39211

Telephone: 601-955-8161 Email: rayfordrhudson@gmail.com

October 13, 2014

Paula Tierce, City Clerk
City of Ridgeland
314 Highway 51
Ridgeland, MS 39157

Re: Petition for a Conditional Use for a Kroger Fuel Center in Ridgeland

Hudson Land Company, LLC, the co-applicant for a Conditional Use for the above referenced project that was heard by the Zoning Board on Thursday, October 9, 2014, stands aggrieved with the recommendation of the Zoning Board.

I hereby exercise my right to appeal as provided in Section 600.17-B of the Zoning Ordinance.

I respectfully request that this matter be heard by the Mayor and Board of Aldermen at the earliest possible date.

Hudson Land Company, LLC

A handwritten signature in black ink, appearing to read "Rayford R. Hudson, III", with a stylized flourish at the end.

Rayford R. Hudson, III

Sole Member

cc: Alan Hart, Director of Community Development
Karen Knight, Zoning Administrator
Brian Middleton, Kroger Limited Partnership I

Pyle, Mills, Dye & Pittman

ATTORNEYS AT LAW

800 AVERY BOULEVARD NORTH, SUITE 101
RIDGELAND, MISSISSIPPI 39157

James H. Gabriel

Telephone:
(601) 957-2600

Telecopier:
(601) 957-7440

October 15, 2014

Mayor Gene McGee
Alderman Ken Heard
Alderman Chuck Gautier
Alderman Kevin Holder
Alderman Brian Ramsey
Alderman Scott Jones
Alderman Wesley Hamlin
Alderman D. I. Smith
Post Office Box 217
Ridgeland, MS 39158

RE: Zoning Report for October 9, 2014

Dear Gentlemen:

We report on the Zoning Board meeting of October 9, 2014. Enclosed for your consideration, please find the following:

1. Minutes of the October 9, 2014, Zoning Board meeting.
2. Ordinance Approving the Petition and Application for a Conditional Use Permit for Skeen Properties, LLC.
3. Resolution Denying the Petition and Application for a Conditional Use Permit for Skeen Properties, LLC.
4. Since Hudson Land Company, LLC, et al. has requested a public hearing before the Mayor and Board, no ordinance or petition is included.

If you have any questions or require additional information, please do not hesitate to call us.

Sincerely,

~~Pyle, Mills, Dye & Pittman~~


James H. Gabriel

JHG/mmh
Enclosure(s)

cc: Zoning Board Members

MINUTES OF THE MEETING
OF THE ZONING BOARD
OF THE CITY OF RIDGELAND, MISSISSIPPI

A meeting of the Zoning Board of the City of Ridgeland, Mississippi (the "Board") was duly called, held and conducted on Thursday, October 9, 2014, at 6:15 o'clock p.m. upon the arrival of a quorum in the Ridgeland City Hall in the City of Ridgeland, Madison County, Mississippi.

The following members were present, to-wit:

Bernie Giessner
Larry Miller
Michelle Caballero
Walter Cox
Julius Murray

Absent:

Mark Irby
Rhett Stubblefield
Drew Malone

Also present:

James H. Gabriel, Attorney
Matt Dodd, City of Ridgeland

* * * * *

All members of the Board acknowledged receipt of the agenda and the agenda was as follows:

1. Call to Order/Invocation.
2. Adoption of Minutes.
3. Public Hearing for Petition and Application for Conditional Use Permit for Skeen Properties, LLC - *Petitioner*
Property Address/Description: 121 E. Ford Street
(October 9, 2014)

4. Public Hearing for Petition and Application for Conditional Use Permit for Hudson Land Company, LLC and Kroger Limited Partnership I - *Petitioners*
Property Address/Description: 6922 Old Canton Road
(October 9, 2014)
5. Old Business/New Business.
6. Adjourn.

The Board considered the Minutes of the July 17, 2014, meeting. Mr. Murray moved to approve the minutes as written. The motion was seconded by Mr. Cox and approved unanimously.

**Public Hearing for Petition and Application for a
Conditional Use Permit for Skeen Properties, LLC**

Present was the proposed tenant Wayne Faris as Mr. Skeen was sick and unable to attend. The property is zoned I-1. Mr. Faris proposes to rent the location as an auto repair/restoration on-site store. No paint or body work will be done. Primarily it will be working on old English motor cars and motorcycles. The cars are generally there for one to two days, but occasionally for several months because of parts. The business can store three to four cars inside. The area in the back is fenced. There is a 250 gallon holding tank for oil changes which a service picks up. There was no one else there to speak for the petition. There was no one else there to speak against it. After discussion, Mr. Miller moved to approve the conditional use as proposed. The motion was seconded by Mr. Murray and passed unanimously.

**Public Hearing for Petition and Application for a
Conditional Use Permit for Hudson Land Company, LLC
and Kroger Limited Partnership I**

Horace Lester, on behalf of the Petitioners, presented the Petition and Application for Conditional Use Permit for Hudson Land Company and Kroger Limited Partnership I to place a Kroger Fuel Center on the corner of Old Canton Road and Harbor Pointe Crossing. Kroger was represented by Mr. Middleton and by Casey Hale, Project Manager. Rayford Hudson was present for Hudson Land Company. The property is presently zoned C-2A and a service station is a conditional use therein. There will be a kiosk with an attendant and some sundries available, but primarily it will sell gasoline. There was no one else present to speak for the petition and no one to speak against it.

Mr. Miller moved to accept the conditional use as presented and was second by Mr. Murray. Upon a roll call vote, Mr. Miller and Mr. Murray voted yes, Ms. Caballero and Mr. Cox voted no. There being a tie, Chairman Giessner voted no and declared that the recommendation would be that no conditional use be granted. Ms. Caballero stated that her opposition was

primarily because of past issues with existing fuel facilities being abandoned and the possibility of that occurring if this site is opened. Mr. Cox stated that he was objecting for the same reasoning and because there were too many gas stations in this particular area.

OLD BUSINESS

None.

NEW BUSINESS

None.

There was no further business to be presented.

ADJOURNMENT

Mr. Murray moved that the meeting be adjourned and was seconded by Mr. Cox and approved unanimously.

WITNESS OUR HANDS, this the _____ day of _____, 2014.

BERNIE GIESSNER, Chairman

MICHELLE CABALLERO, Vice Chairman/Secretary

MEMORANDUM

To: Mayor and Board of Aldermen

From: Alan Hart, Director
Community Development Department

Mike McCollum, Director
Public Works Department

Date: November 26, 2014

Re: Site / Architectural Review:

KROGER FUEL CENTER – 6922 OLD CANTON ROAD

We recommend that the Mayor and Board of Aldermen discuss and consider the above referenced site/architectural plan if the Conditional Use Permit is granted. The Community Development and Public Works Departments have reviewed the above referenced architectural plan to include but not limited to a review of the following: land use, zoning, open space, ingress, egress, building setbacks, building height, lot area, parking, drainage, traffic impact, landscaping, tree ordinance, and water and sewer utilities as established in the City of Ridgeland Development Review Procedures.

The Architectural Review Board met in accordance with the Architectural Review Ordinance at its regularly scheduled meeting on October 28, 2014 and recommended approval of the project as submitted.

Thank you for your consideration of this matter. Please contact me if you have any questions.

mailing address: p.o. box 217 • ridgeland, ms 39158
street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

Gene F. McGee, cmo - mayor • Alan Hart, asla – director of community development

board of aldermen: D.I. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6

PROJECT NOTES:

1. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
2. BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL: (1) OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES. (2) CONTACT THE CITY OF RIDGELAND CONSTRUCTION INSPECTION OFFICE. (3) CONTACT UNDERGROUND UTILITIES LOCATING SERVICE. (4) NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT. (5) BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
3. CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
4. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL ACCURATELY LOCATE AND MARK CONSTRUCTION LIMITS AND PROPERTY LINES, AND SHALL LIMIT ALL CONSTRUCTION ACTIVITIES TO WHICHEVER APPLICABLE.
6. ALL FILL IN OLD TANK AREAS, OLD BASCMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE FEA GRAVEL OR APPROVED EQUAL.
7. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL. DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.
8. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY THE ENGINEER AND SHALL BE PLACED IN 8" LAYERS COMPACTED TO 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.
9. SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION. REFERENCE ARCHITECT'S PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, DUMPSTER PADS, STEPS, TRANSFORMER PADS, ETC.
10. FREESTANDING CANOPY FURNISHED AND INSTALLED BY CANOPY CONTRACTOR UNDER SEPARATE CONTRACT ON FOOTINGS FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
11. ALL UTILITY CONNECTIONS, FOOTINGS, FOUNDATIONS AND SPECIFIED EXTERIOR FINISHES BY G.C.
12. GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE. SEE SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OWNER.
13. GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED IN THE SPECIFICATIONS FOR INSTALLING EQUIPMENT, INCLUDING PRODUCT DISPENSERS AND REMOTE READ-OUT EQUIPMENT.
14. THE CONTRACTOR SHALL MARK AND PROTECT ALL TREES AND VEGETATION INDICATED TO REMAIN, AND PREVENT PARKING, STORING OF MATERIALS, AND ENTRY OF VEHICLES AND CONSTRUCTION EQUIPMENT WITHIN THE GRIP LINES OF THE TREES TO BE SAVED.
15. GENERAL CONTRACTOR TO PROVIDE BARRIAGE PROTECTION WITH FLASHING LIGHTS AROUND ALL CANOPY COLUMN FOOTINGS, TANK EXCAVATIONS AND ALL OFFSITE WORK. TANK EXCAVATIONS LEFT OPEN OVERNIGHT MUST BE PROTECTED BY A MINIMUM 6" HIGH CHAIN LINK FENCE APPROVED BY THE COMPANY. OTHER METHODS OF SECURITY WILL BE ENTERTAINED BUT MUST BE APPROVED BY THE COMPANY.
16. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
17. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
18. GENERAL CONTRACTOR SHALL PROVIDE COMPREHENSIVE TRAFFIC CONTROL PLAN WHICH SHALL BE SUBMITTED TO AND APPROVED BY THE CITY PRIOR TO ANY WORK IN THE R.O.W. THE CONTRACTOR AT NO TIME SHALL ENCRUSCH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT.
19. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
20. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
21. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PUBLIC OR PRIVATE UTILITIES AND SHALL REPAIR, REPLACE, OR RELOCATE SAME AT NO ADDITIONAL COST TO THE OWNER.
22. ANY EQUIPMENT UTILIZING ELECTRICAL RECEPTACLES SHALL COMPLY WITH NEC (LATEST EDITION).
23. ANY FENCING, SIDEWALK, CURB AND GUTTER, LANDSCAPE AREAS OR CURB CUT DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
24. FIELD STAKING TO BE PROVIDED BY THE CONTRACTOR.
25. ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING. ALL DIMENSIONS SHOWN TO CURB ARE TO FACE OF CURB. ALL DIMENSIONS SHOWN TO PAINT STRIPES ARE TO CENTERLINE AND END OF PAINT STRIPE.
26. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
27. THE SITE WORK CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL, CONDUIT, IRRIGATION SLEEVES, AND ANY OTHER MISCELLANEOUS), SHALL BE IN-PLACE PRIOR TO THE PLACEMENT OF BASE PAVEMENT COURSE MATERIAL.
28. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK AND RELOCATING BENCHMARK IF NECESSARY. BENCHMARK SHALL BE RELOCATED TO ORIGINAL ELEVATION.
29. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE AND ALIGNMENT.
30. THE SITEMARK SHALL MEET OR EXCEED THE KROGER "STANDARD" SITEMARK SPECIFICATIONS.
31. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCING PER OWNERS DIRECTION.

ARCHITECTURAL REVIEW BOARD SUBMITTAL

OCTOBER 2014

SHEET INDEX

CIVIL	
A2.0	EXTERIOR ELEVATIONS AND SIGNAGE
C1.1	SITE PLAN
C1.2	GRADING AND DRAINAGE PLAN
C1.3	UTILITY PLAN
CS.1	SITE SPECIFIC DETAILS
CS.2	CIVIL STANDARD DETAILS
L1	LANDSCAPE PLANTING PLAN
L2	PLANTING LIST AND SPECSHEET
L1.0	SITE LIGHTING PLAN
L1.1	SITE LIGHTING DETAILS

KROGER FC V-494 FUEL CENTER

7045 OLD CANTON ROAD

RIDGELAND, MS



VICINITY MAPS (NTS)

VICINITY MAP



Kroger Delta Marketing Area
800 Ridge Lake Blvd
Memphis, TN 38120
Phone (901) 765-4189
Fax (901) 765-4163

The Kroger Co.
10251 East 51st Ave
Suite A
Denver, CO 80239
Phone (303) 715-5915
Fax (303) 715-5905



Galloway, Romero & Associates

Design Engineering Planning

5350 DTC Parkway
Englewood, Colorado 80111
Tel. (303) 770-8884
Fax. (303) 770-3636



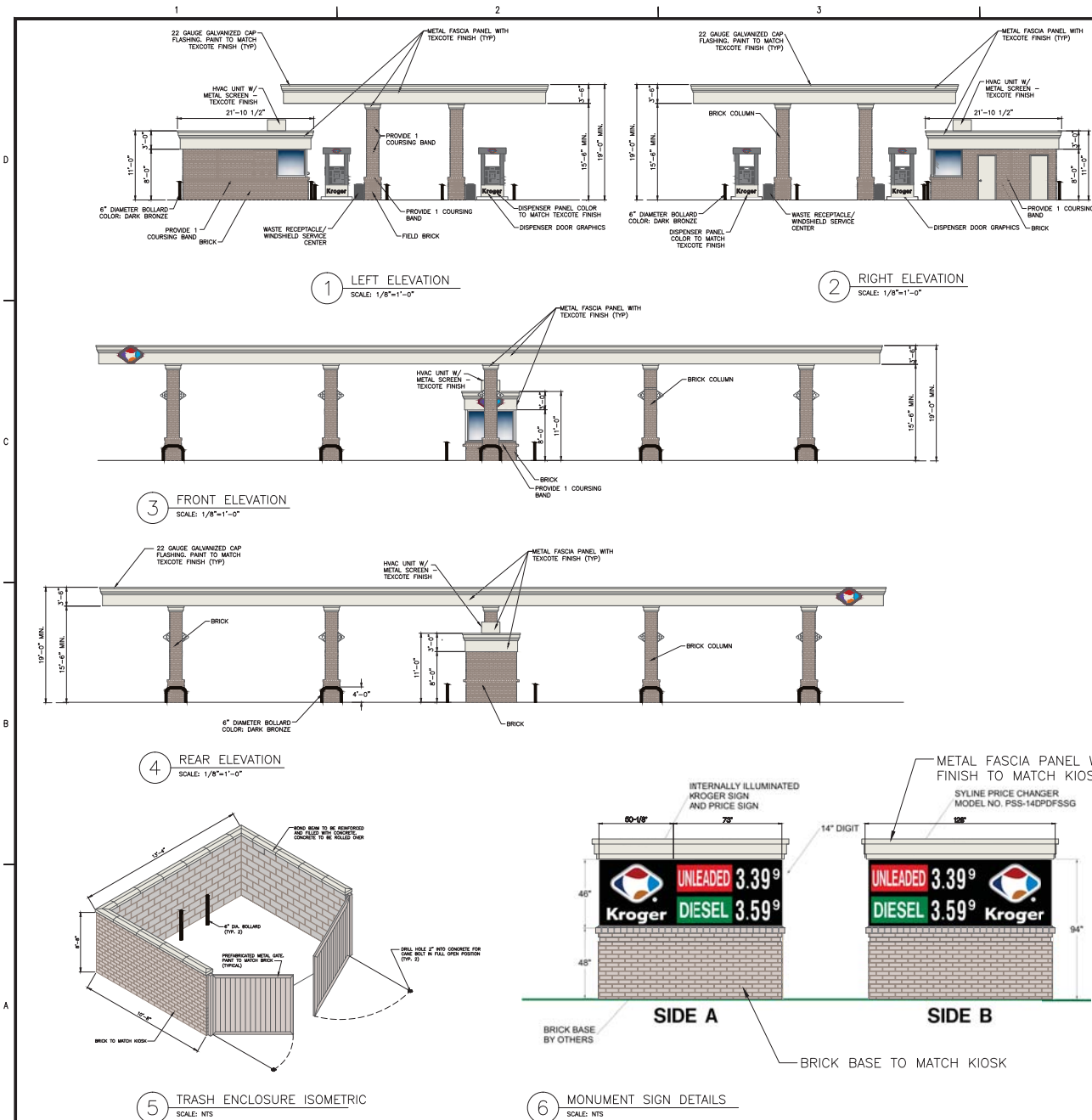
Pickering Firm, Inc.

Engineering

Planning • Surveying

6775 Lenox Center Court, Suite 300
Memphis, TN 38115
901.726.0810

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF PICKERING FIRM, INC. DEVISED SOLELY FOR THIS CONTRACT. THIS PLAN SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY PURPOSE FOR WHICH IT WAS NOT INTENDED WITHOUT THE WRITTEN PERMISSION FROM PICKERING FIRM, INC.

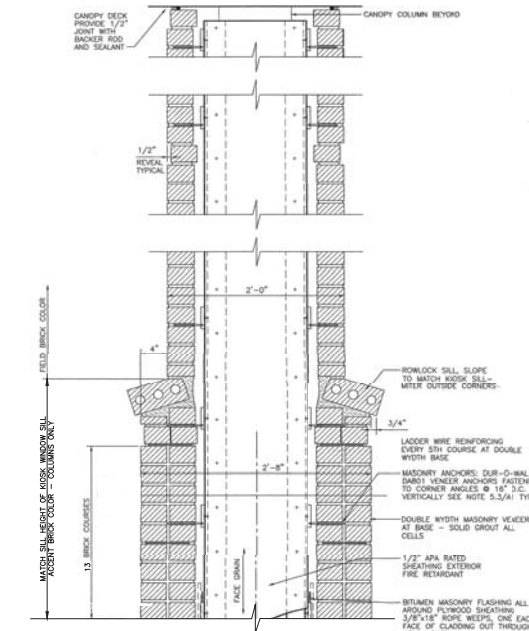


MATERIAL SCHEDULE

FIELD BRICK - ACME BRICK - COLORADO BUFF BLEND

GROUT - ASH GROVE PRO - MUSHROOM

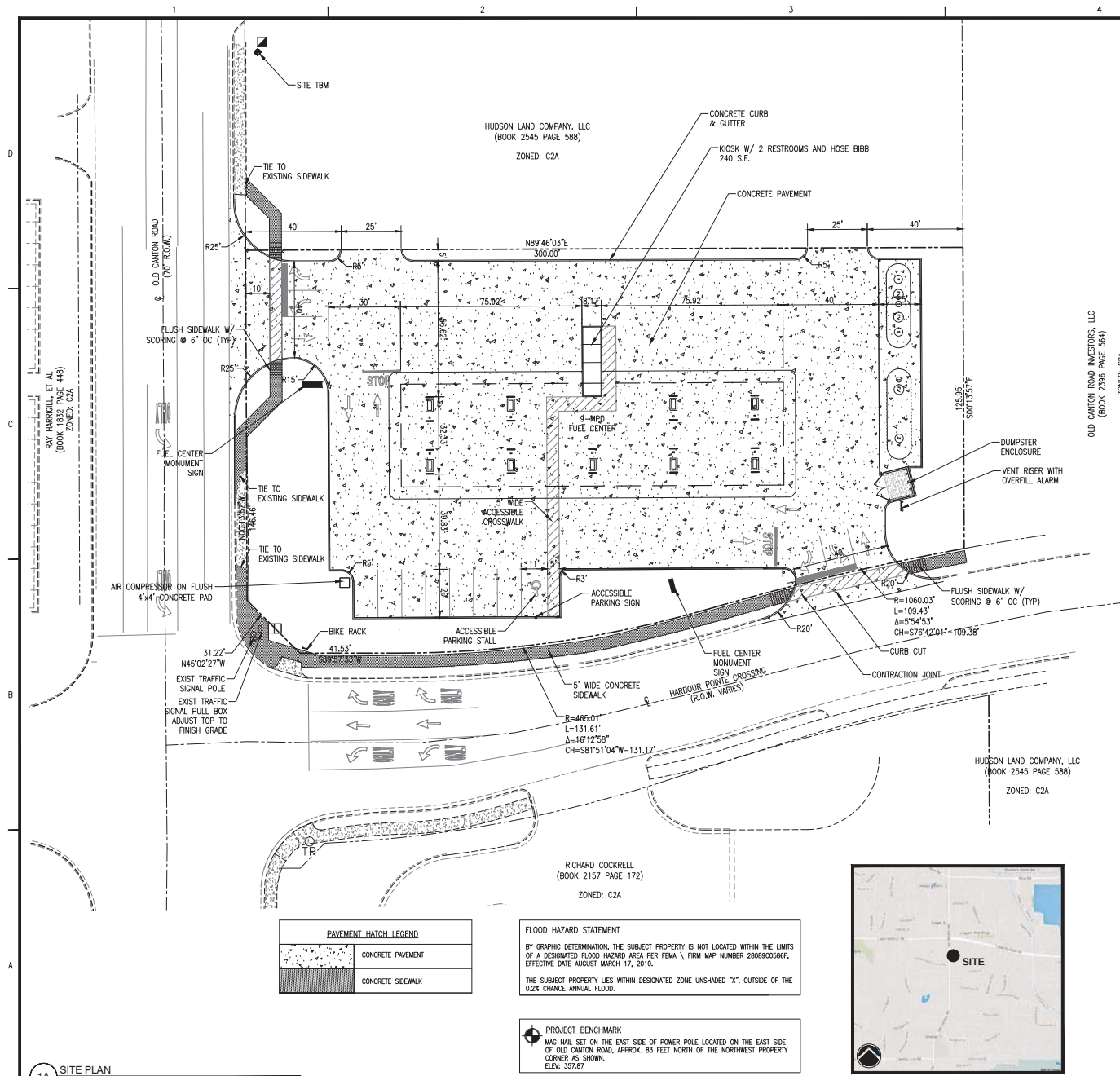
CANOPY- TEXTCOTE FINISH - OYSTER SHELL SANDPEBBLE



REVISIONS	DATE
1	
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3	
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9	
10	

Project #	12064
Designed By	PH
Drawn By	PH
Checked By	PH
Date	10/10/2014
Scale	
Disk File	V-434
Model	FIELD CENTER
Address	7045 OLD CANTON ROAD ROSELAND, WI 53157

EXTERIOR ELEVATIONS & SIGNAGE



KROGER V-494
FUEL CENTER
7045 OLD CANTON ROAD
RIDGELAND, MS 39157

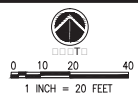
ZONING - PUD

MINIMUM SETBACKS:

FRONT = 30'
SIDE = 10'
REAR = 10'

FUEL CENTER SITE AREA:

PERVIOUS	10,873 SF (23.1%)
IMPERVIOUS	35,590 SF (76.9%)
TOTAL	46,263 SF



- GENERAL SITE NOTES:**
- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
 - OBTAIN ALL BUILDING AND CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
 - CONTACT THE CITY OF RIDGELAND CONSTRUCTION INSPECTION OFFICE.
 - CONTACT UNDERGROUND UTILITIES LOCATING SERVICE.
 - NOTIFY UTILITY COMPANIES MAINTAINING UTILITY LINES OR EASEMENTS WITHIN THE LIMITS OF CONSTRUCTION, OR IN PUBLIC RIGHTS-OF-WAY ADJACENT TO THE PROJECT.
 - BECOME KNOWLEDGEABLE OF EXISTING UTILITIES AND PROTECT SAME WHERE NECESSARY. THIS SHALL INCLUDE UTILITIES SHOWN AND NOT SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
 - THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEED, FERTILIZED, & MULCHED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER CITY OF RIDGELAND AND STATE REGULATIONS. ALL SLOPES 3:1 OR GREATER SHALL BE PERMANENTLY STABILIZED WITH SOLO 500 OR AN EROSION CONTROL MAT WITH SEEDING.
 - ALL CONSTRUCTION SHALL MEET THE CITY OF RIDGELAND TECHNICAL SPECIFICATIONS.
 - THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE CITY ENGINEER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
 - SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL MISSISSIPPI ONE CALL AT 811 FOR THE LOCATION OF UNDERGROUND UTILITIES.
 - THE CONTRACTOR AT NO TIME SHALL ENCROACH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E. AROUND EXCAVATIONS OR OPERATING EQUIPMENT. THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI.
 - ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER.
 - FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
 - ANY FENCING, SIDWALK, CURB AND GUTTER, CURB CUT ETC., DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - ALL UTILITY LINES ENTERING THE BUILDING SHALL BE SEALED TO PREVENT MIGRATION OF SURFACE AND SUBSURFACE WATER AND SUBSEQUENT WETTING OF THE SUBGRADE SOILS. THE UTILITY LINES SHALL BE SEALED FROM THE BUILDING FOUNDATION TO A MINIMUM OF 3 FEET OUTSIDE THE BUILDING FOUNDATION. THE SEAL MAY CONSIST OF CLAYEY SOILS WITH A MINIMUM PLASTICITY INDEX OF 25 OR WITH LEAN CONCRETE.
 - CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXIST NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXIST UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
 - CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY.
 - CONTRACTOR SHALL REMOVE & REPAIR PAVEMENT AS REQUIRED FOR UTILITY CONSTRUCTION INCLUDING BUT NOT LIMITED TO: IRRIGATION SLEEVES, SITE LIGHTING CONDUITS, WATER LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, ETC. CONTRACTOR HAS OPTION TO BORE CONDUITS.
- ASPHALT PAVING NOTES**
- ASPHALT PAVEMENT SHALL MEET OR EXCEED THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE MOOT STANDARD SPECIFICATIONS OF THE MOOT STANDARD CONSTRUCTION SPECIFICATIONS.
 - THE CONTRACTOR SHALL SUBMIT MIX DESIGNS FOR ALL ASPHALT AND SOIL CEMENT FOR APPROVAL BY THE ENGINEER. THE CONTRACTOR SHALL ALSO SUBMIT A LETTER FROM THE TESTING LAB CERTIFYING THAT THE SUBMITTED PAVEMENT SECTIONS MEET THE APPLICABLE REQUIREMENTS OF THE MOOT STANDARD SPECIFICATIONS OF THE MOOT STANDARD CONSTRUCTION SPECIFICATIONS.
 - ALL ASPHALT AND BASE COURSE ELEVATIONS SHALL NOT DEVIATE FROM PLAN GRADES BY MORE THAN 1/2-INCH. THE THICKNESS OF THE BASE SHALL NOT DEVIATE FROM THE THICKNESS SHOWN ON THE PLANS BY MORE THAN PLUS 1-1/2 INCHES OR MINUS 0 INCHES. THE THICKNESS OF THE ASPHALT PAVING SECTIONS SHALL NOT DEVIATE FROM THE THICKNESS SHOWN ON THE PLANS BY MORE THAN PLUS 1 INCH OR MINUS 0 INCHES.
 - PAVEMENT SUBGRADES SHALL BE PER THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PERFORMED BY TERRACON, DATED JUNE 18, 2014.
 - PROVIDE FIRE LANE STRIPING AND SIGNAGE AS REQUIRED BY LOCAL REQUIREMENTS.
 - NEAR THE COMPLETION OF THE PROJECT, THE GC IS TO REPAIR ANY AREAS OF EXISTING AND NEWLY CONSTRUCTED PAVEMENTS DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COSTS TO THE OWNER.

PAVEMENT HATCH LEGEND

	CONCRETE PAVEMENT
	CONCRETE SIDEWALK

FLOOD HAZARD STATEMENT

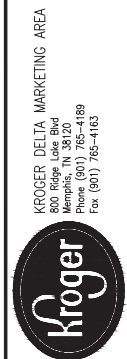
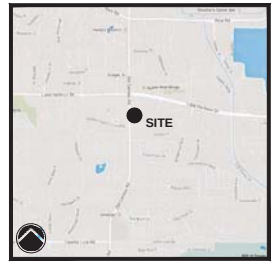
BY GRAPHIC DETERMINATION, THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA PER FEMA 1 FIRM MAP NUMBER 28080C05667, EFFECTIVE DATE AUGUST MARCH 17, 2010.

THE SUBJECT PROPERTY LIES WITHIN DESIGNATED ZONE UNSHADED "X", OUTSIDE OF THE 0.2% CHANCE ANNUAL FLOOD.

PROJECT BENCHMARK

MAG NAL SET ON THE EAST SIDE OF POWER POLE LOCATED ON THE EAST SIDE OF OLD CANTON ROAD, APPROX. 53 FEET NORTH OF THE NORTHWEST PROPERTY CORNER AS SHOWN.

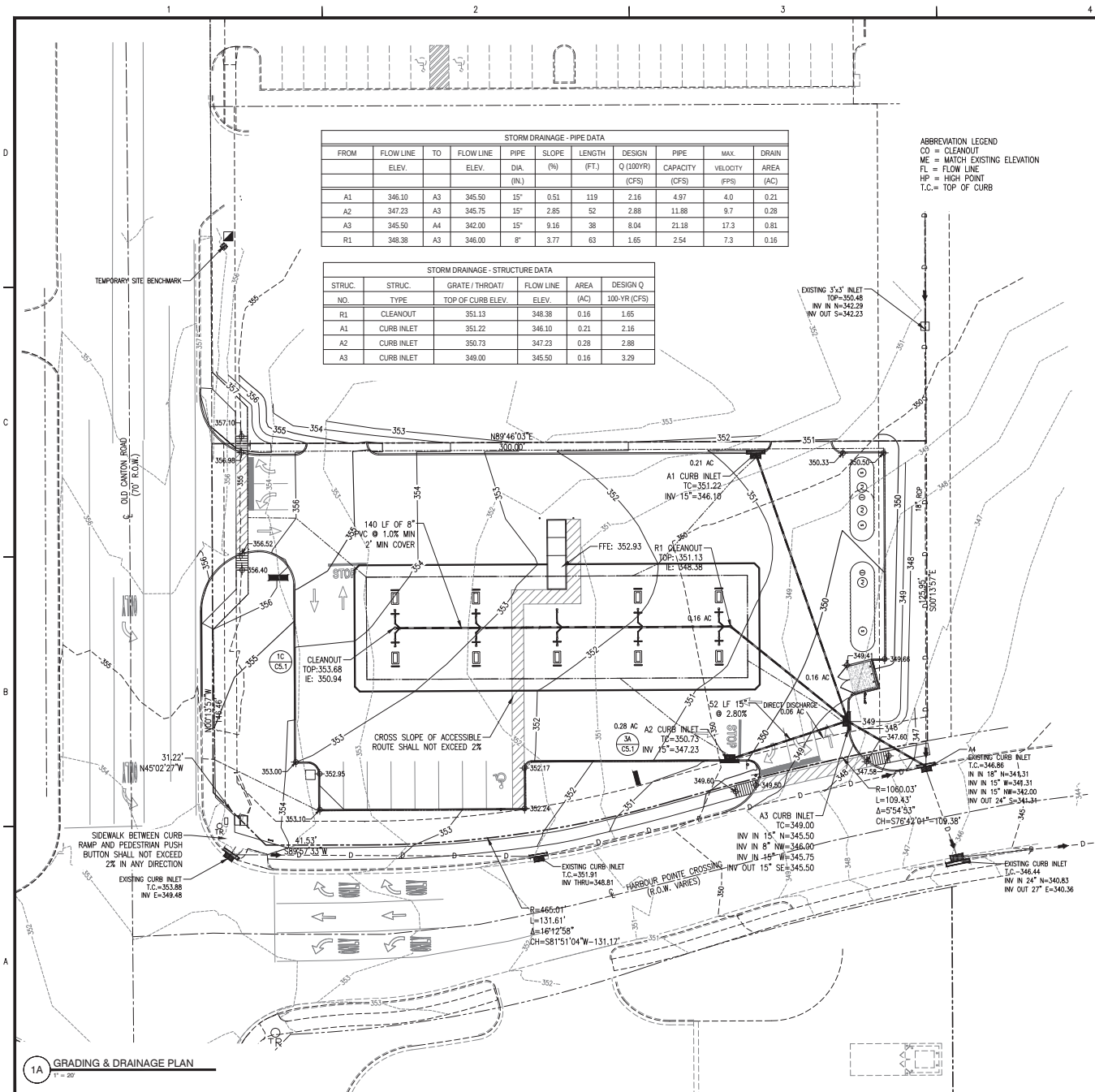
ELEV: 357.87



REVISIONS		NO.		DESCRIPTION		DATE	
Project No.	2364	Drawn by	PH	Checked by	PH	Date	10/15/2014
Scale	1" = 20'	Task File	V-494	Sheet	FUEL CENTER		
Address: 7045 OLD CANTON ROAD RIDGELAND, MS 39157							

C1.1

SITE PLAN



FROM	FLOW LINE	TO	FLOW LINE	PIPE DIA. (IN.)	SLOPE (%)	LENGTH (FT.)	DESIGN Q (100YR) (CFS)	PIPE CAPACITY (CFS)	MAX. VELOCITY (FPS)	DRAIN AREA (AC)
A1	346.10	A3	345.50	15"	0.51	119	2.16	4.97	4.0	0.21
A2	347.23	A3	345.75	15"	2.85	52	2.88	11.88	9.7	0.28
A3	345.50	A4	342.00	15"	9.16	38	8.04	21.18	17.3	0.81
R1	348.38	A3	346.00	8"	3.77	63	1.65	2.54	7.3	0.16

STRUC. NO.	STRUC. TYPE	GRATE / THROAT / TOP OF CURB ELEV.	FLOW LINE ELEV.	AREA (AC)	DESIGN Q 100-YR (CFS)
R1	CLEANOUT	351.13	348.38	0.16	1.65
A1	CURB INLET	351.22	346.10	0.21	2.16
A2	CURB INLET	350.73	347.23	0.28	2.88
A3	CURB INLET	349.00	345.50	0.16	3.29

ABBREVIATION LEGEND
 CO = CLEANOUT
 ME = MATCH EXISTING ELEVATION
 FL = FLOW LINE
 HP = HIGH POINT
 T.C. = TOP OF CURB

GRADING AND DRAINAGE NOTES

- CONTRACTOR TO VERIFY UTILITY COMPANY LOCATIONS AND VERTICAL DATA SHOWN ON PLANS. CONTACT UTILITY PROVIDERS BEFORE SITE EXCAVATION BEGINS.
- PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE IN-SITU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- ESTABLISH PERMANENT VEGETATION WITH SEEDING OR SOLID SOD ON DISTURBED AREAS.
- DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
- SPOT ELEVATIONS SHOWN ARE FINISHED ASPHALT, GROUND OR CONCRETE ELEVATIONS. SPOT ELEVATIONS ON CURB LINES ARE ON THE BOTTOM OF CURB (OUTTER) UNLESS OTHERWISE NOTED.
- CLEAR AND GRUB AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE ALL UNSATISFACTORY SOILS AND STRIP TOPSOIL PER THE PROJECT SPECIFICATIONS.
- MAXIMUM SLOPE IN ANY DIRECTION AT HANDICAP PARKING AREAS IS 2% IF SLOPES IN THESE AREAS EXCEED 2%, NOTIFY THE DESIGNER IMMEDIATELY. THE MAXIMUM LONGITUDINAL SLOPE AT SIDEWALK IS 5% WITH A 2% MAXIMUM CROSS SLOPE.
- ADJUST TOPS ON CATCH BASINS AND CURB INLETS TO MEET FINAL GRADE.
- STORM DRAINAGE MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONDUCTED PER PROJECT SPECIFICATIONS AND MUST MEET ALL THE REQUIREMENTS OF THE CITY OF RIDGELEND STANDARD SPECIFICATIONS.
- ALL EARTHWORK OPERATIONS SHALL BE PERFORMED PER PROJECT SPECIFICATIONS.
- NECESSARY AND REQUIRED SHEATHING BRACING, PUMPING & BAILING OPERATIONS TO PROTECT WORKMEN & ADJACENT FACILITIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW APPLICABLE SAFETY CODES & REGULATIONS DURING PHASES OF CONSTRUCTION.
- DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.
- ALL DEMOLITION OPERATIONS SHALL BE PERFORMED PER PROJECT SPECIFICATIONS.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE ALONG ALL CURBS.

FLOOD HAZARD STATEMENT

BY GRAPHIC DETERMINATION, THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA PER FEMA 1 FIRM MAP NUMBER 28089C0086F, EFFECTIVE DATE AUGUST MARCH 17, 2010.
 THE SUBJECT PROPERTY LIES WITHIN DESIGNATED ZONE UNSHADED "X", OUTSIDE OF THE 0.2% CHANCE ANNUAL FLOOD.

PROJECT BENCHMARK

WING MAIL SET ON THE EAST SIDE OF POWER POLE LOCATED ON THE EAST SIDE OF OLD CANTON ROAD, APPROX. 83 FEET NORTH OF THE NORTHWEST PROPERTY CORNER AS SHOWN. ELEV. 357.57

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

INFORMATION REGARDING THE REPORTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

DRIVE ELEVATION AT LOW COLUMN =	350.63
DISTANCE TO TOP OF FOOTING =	-2.00
TOP OF ALL FOOTINGS =	348.63
HIGH DRIVE ELEVATION UNDER CANOPY =	354.50
MINIMUM CLEARANCE TO BOTTOM OF CANOPY FASCIA =	+15.50
BOTTOM OF CANOPY FASCIA ELEVATION =	370.00
LOW DRIVE ELEVATION AT TANK PAD =	349.38
MINIMUM CLEARANCE TO TOP OF TANKS =	-3.33
TOP OF TANK ELEVATION =	346.05



KROGER DELTA MARKETING AREA
 10 Ridge Road
 Middletown, NJ 08066
 Phone (907) 765-4189
 Fax (907) 765-4163

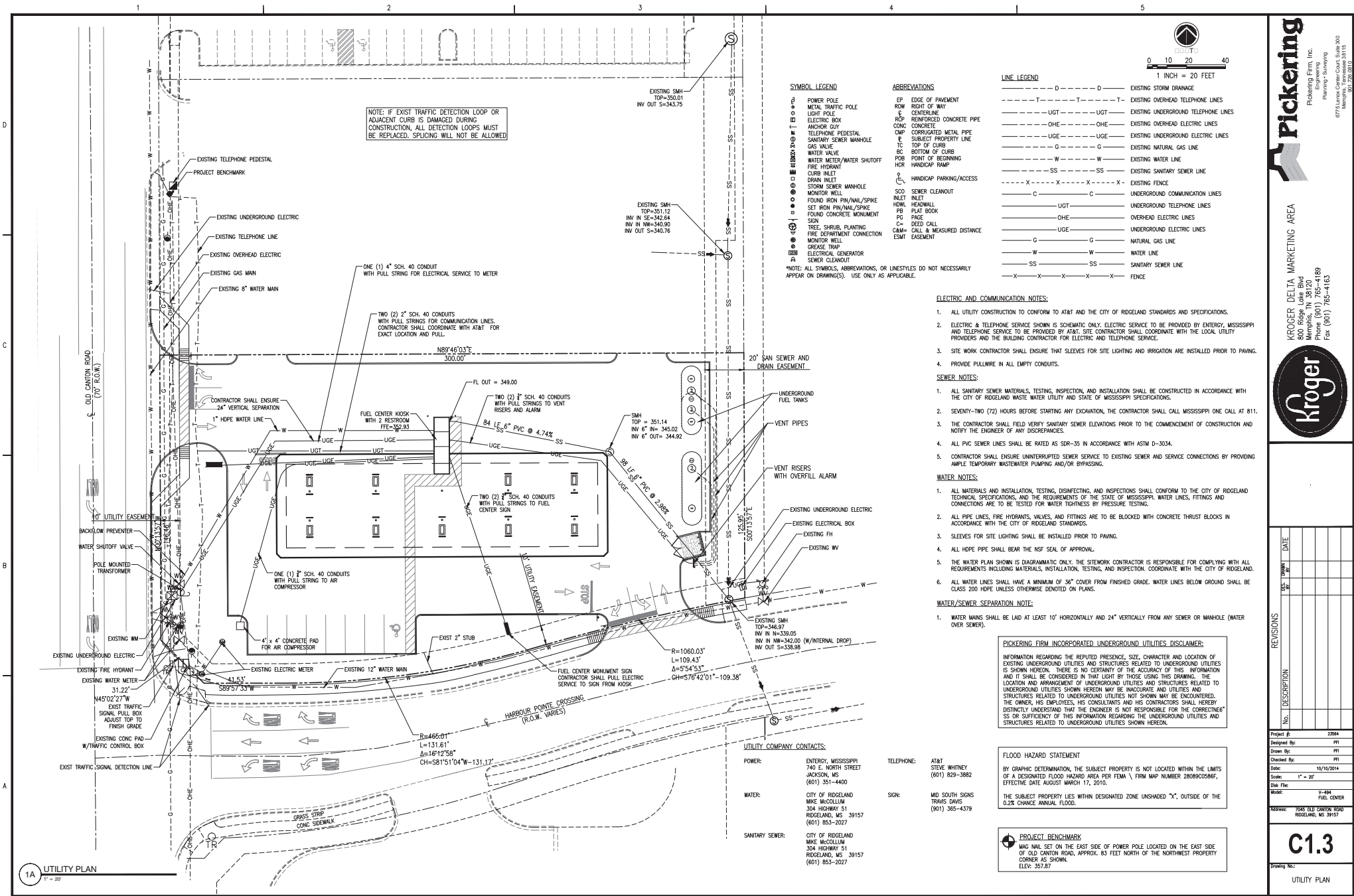


NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/10/2014
2	REVISIONS	
3		
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20		

Project #:	22064
Designed By:	PH
Drawn By:	PH
Checked By:	PH
Date:	10/10/2014
Scale:	1" = 20'
Disk File:	
Model:	V-434
	FILE CENTER
Address:	7548 OLD CANTON ROAD RIDGELEND, MD 21157

C1.2

Grading & Drainage Plan



Pickering
Engineering & Surveying
8775 Lewis Center Court, Suite 300
Memphis, TN 38116
(901) 765-4163

KROGER DELTA MARKETING AREA
No. Highway 51
Memphis, TN 38120
Phone (901) 765-4189
Fax (901) 765-4163

Kroger

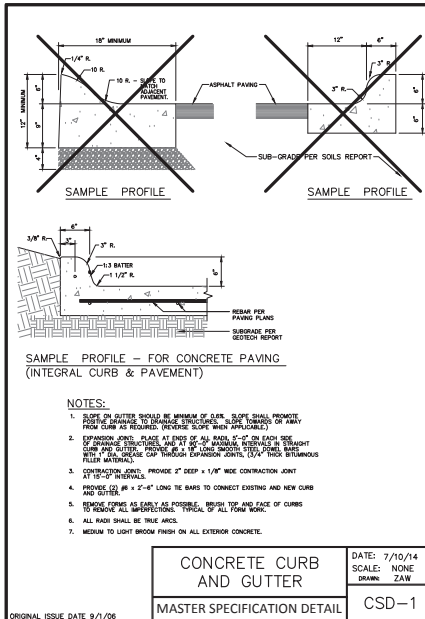
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2	DRAWN BY: PFI	
3	CHECKED BY: PFI	
4	DATE: 10/10/2014	
5	SCALE: 1" = 20'	
6	DWG. FILE: V-434	
7	MOBIL: PFI, CENTER	
8	ADDRESS: 7548 OLD CANTON ROAD RIDGELAND, MS 39157	

C1.3

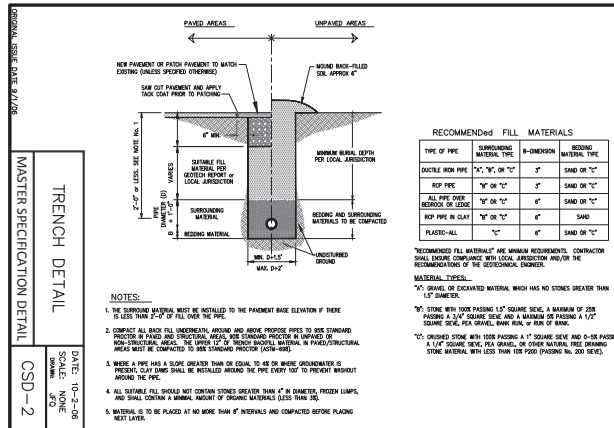
UTILITY PLAN



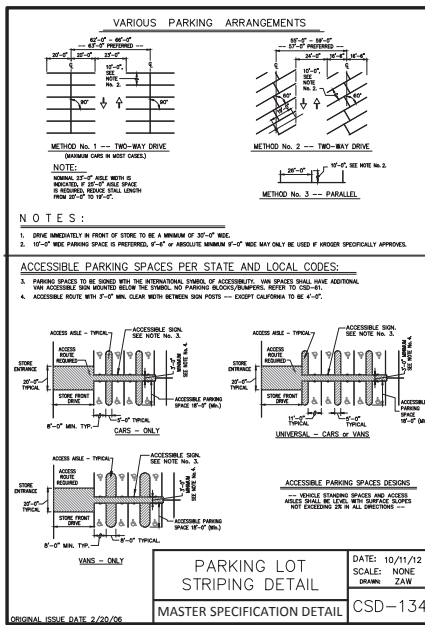
Drawing No.:
SITE SPECIFIC DETAILS



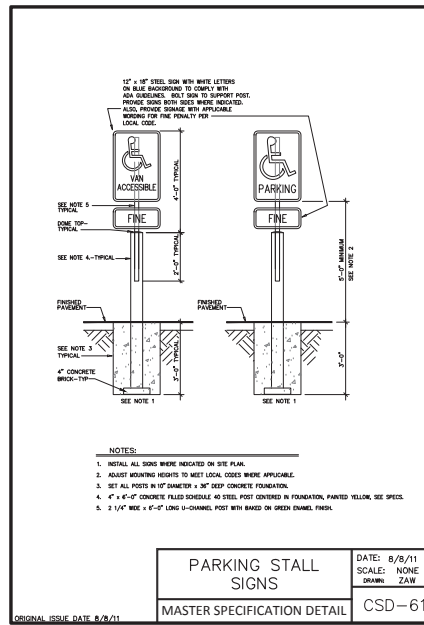
1C CONCRETE CURB AND GUTTER
NOT TO SCALE



3C TRENCH DETAIL
NOT TO SCALE



1A PARKING LOT STRIPING DETAIL
NOT TO SCALE



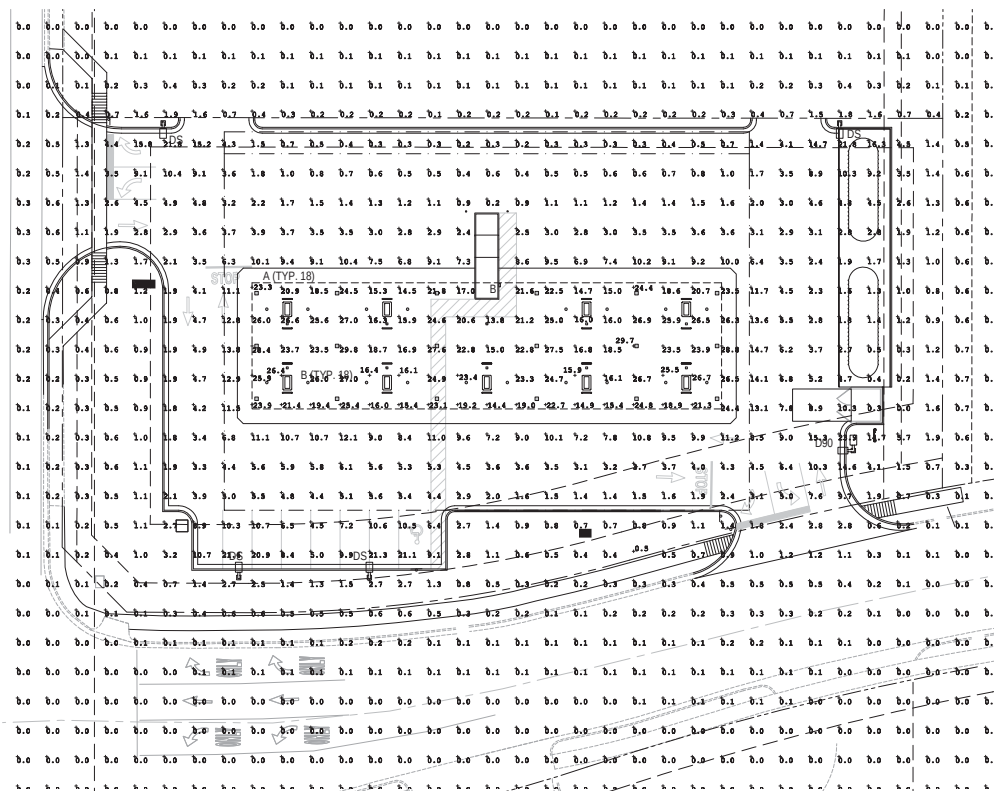
3A PARKING STALL SIGNS
NOT TO SCALE

REVISIONS	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



LUMINAIRE SCHEDULE							
SYMBOL	QTY	LABEL	LUMENS	LLF	WATTS	MODEL NUMBER	DESCRIPTION
	18	A	10871	1.0	88	CRUS-SC-LED-LW-CW-UE-WMT	LST LIGHTING, CROSSOVER LEGACY SERIES, LOW WATT, FLAT LENS, FULL CUTOFF LED CANOPY FIXTURE
	1	B	1432	1.0	22	XTOR2A-4000K	LUMARK LIGHTING, CROSSSTOUR LED SERIES, FLAT LENS, FULL CUTOFF LED WALL PACK FIXTURE
	18	C	2674	1.0	36	CR03-FO-LED-30-SS-CW-UE-WMT	LST LIGHTING, CROSSOVER GENERATION 3 SERIES, SUPER SAKER, INTERNATIONAL DARK-SKY FRIENDLY FIXTURE, LED CANOPY FIXTURE
	4	DS	15791	1.0	187	XPT3-FY-LED-128-450-CW-UE-BBZ	LST LIGHTING, PATRIOT LED SERIES, 128 DIODE, FORWARD THROW, FLAT LENS, COOL WHITE SINGLE HEAD AREA SITE FIXTURE MOUNTED ON 16'-0" POLE SEE SHEET A3 FOR POLE BASE
	1	D90	26672	1.0	286	XPT3-FY-LED-128-450-CW-UE-BBZ	LST LIGHTING, PATRIOT LED SERIES, 128 DIODE, FORWARD THROW, FLAT LENS, COOL WHITE DOUBLE HEAD AREA SITE FIXTURE MOUNTED ON 16'-0" POLE SEE SHEET A3 FOR POLE BASE

SEE SHEET L1.1 FOR MANUFACTURER CUT SHEETS



1 SITE LIGHTING PLAN
SCALE: 1"=20'-0"

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NOTE TO CONTRACTOR:
THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.D.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR WIND LOADS. THE FAILURE OF THIS CONDITION MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNERS/ARCHITECTS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VISIT THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

Galloway
Planning Architecture Engineering
Galloway & Associates, Inc.
1000 17th Street, Suite 100
Boulder, CO 80502
303.440.7150
www.gallowayinc.com

Supermarket Planning Group
Denver, CO 80239
Phone: (303) 715-9901
Fax: (303) 715-9905

The Kroger Co.



REVISIONS

No.	DESCRIPTION	DATE

Project #: PV-494
Designed By: JMG
Drawn By: JMG
Checked By: MDC
Date: SEPTEMBER, 2014
Scale: FULL
DWG File: KroV0494_L1.1-X-1.tif
Model:

Address: 7045 Old Canton Road
Ridgeland, MS

SITE LIGHTING PLAN

Drawing No.:

L1.0

**MINUTES OF A MEETING OF THE ARCHITECTURAL REVIEW BOARD
OF THE CITY OF RIDGELAND, MISSISSIPPI**

A meeting of the Architectural Review Board of the City of Ridgeland, Mississippi, (the "Board"), was duly called, held, and conducted on Tuesday October 28, 2014 at 6:00 o'clock P.M. in the Ridgeland City Hall in the City of Ridgeland, Madison County, Mississippi.

.....

The following members were present, to-wit:

Bill Dicken, Chairman
Connie Suber
Alex Ross
Randy Knouse

Members Absent:

Donald Pendergrast
Ron Blaylock
Tom Bobbitt
Glenn Ray

Also attending:

Matthew Dodd

The meeting was called to order by Chairman Dicken. Chairman Dicken led the invocation. It was determined by the members present that there wasn't a quorum.

The first item on the agenda was **KROGER FUEL CENTER**. The project was presented by **Mrs. Cara Martin of Pickering Firm, Inc.** The project is located at the intersection of **Old Canton Road** and **Harbour Pointe Crossing**. The Applicant is requesting approval to construct a new fuel center.

Chairman Dicken opened the floor for a motion. Randy Knouse made a motion to approve the project as a "major" agenda item. Alex Ross seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The next item on the agenda was the **CSPIRE CUSTOMER SUPPORT CENTER**. The project was presented by **Mr. Jason Ellis**. The project is located at **290 South Perkins Street**. The Applicant is requesting approval to modify the parking lot and make minor exterior improvements.

Chairman Dicken opened the floor for a motion. Alex Ross made a motion to approve the project as a "minor" agenda item contingent upon the applicant repainting portions of the building which shall be based on Community Development making a determination of said portions. Randy Knouse seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The last item on the agenda was **LAKEFRONT TOWNHOMES**. The project was presented by **Mr. Clint Herring** of **Kerioth Corp.** The project is located in the **Township at Colony Park** development. The Applicant is requesting approval to construct new townhomes. The project had been previously approved by the Mayor and Board of Aldermen in 2003.

Chairman Dicken opened the floor for a motion. Connie Suber made a motion to approve the project as a "minor" agenda item. Alex Ross seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The minutes from the October 14, 2014 meeting were then read and approved by the board. There being no further business to come before the board, the meeting was adjourned.

Bill Dicken, Chairman

ATTEST:

Connie Suber, Secretary

MEMORANDUM

To: Mayor and Board of Aldermen

From: Drew Smith, Code Enforcement Manager
Community Development Department



Date: October 27, 2014

Re: Property Adjudication

I recommend that the Mayor and Board of Aldermen adjudicate the cost of cleaning the following property pursuant to State Statute 21-19-11:

139 MCCORMACK DRIVE (ROBERT GASTON CUENCA)

This property was entered after the required notice and cleaned by the City of Ridgeland Public Works Department and Community Development Department personnel on 10-9-2014. I have attached an Invoice detailing the cost for the work performed at the property. Thank you for your consideration of this matter. Please contact me if you have any questions.

mailing address: p.o. box 217 • ridgeland, ms 39158
street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

Gene F. McGee, cmo - mayor • Alan Hart, asla – director of community development

board of alderman: D.I. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY
OF RIDGELAND, MISSISSIPPI SETTING AN ASSESSMENT AGAINST
RONALD GASTON CUENCA ON 139 MCCORMACK DRIVE, RIDGELAND,
MISSISSIPPI PURSUANT TO MISS. CODE ANN. §21-19-11**

Whereas, on September 16, 2014, the Mayor and Board of Aldermen authorized the Department of Community Development of the City of Ridgeland, Mississippi to clean the above referenced property, pursuant to the provisions of Miss. Code Ann. §21-19-11; and,

Whereas, on November 4, 2014, the Mayor and Board of Aldermen did adjudicate that the actual cost of cleaning the property was \$2,179.25 and found that said amount should be assessed as a lien against the property and enrolled in the office of the Tax Collector of Madison County as other judgments are enrolled.

Now therefore it is resolved by the Mayor and the Board of Aldermen of the City of Ridgeland, Mississippi that pursuant to Miss. Code Ann. §21-19-11, the actual costs of \$2,179.25 plus the amount of statutory penalty, \$250.00, for a total amount of \$2,429.25 should be assessed as a lien against Robert Gaston Cuenca, on their property owned at 139 McCormack Drive, Ridgeland, Mississippi, being Tax Parcel No. 072I-31C-034/00.00.

Further it is resolved that this Resolution should be recorded in the office of the Tax Collector of Madison County as a judgment against Robert Gaston Cuenca and 139 McCormack Drive, Ridgeland, Mississippi.

So resolved this the fourth day of November, 2014.

CITY OF RIDGELAND, MISSISSIPPI

By: _____
Mayor Gene F. McGee

Attest:

Paula Tierce, City Clerk

mailing address: p.o. box 217 • ridgeland, ms 39158
street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

Gene F. McGee, cmo - mayor • Alan Hart, asla – director of community development

board of alderman: D.L. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6

Invoice

City of Ridgeland

Billing Statement
Please remit to :
The City of Ridgeland
P.O. Box 217
Ridgeland, MS 39157

Property Address: 139 McCormack Drive
Cleaning Date: 10-9-2014
Time: 8:00 a.m.- 12:00 p.m.; 1:00 p.m.- 2:00 p.m.

Labor	Rate	Count	Hours	Flat Fee	Total
Public Works	\$ 141.08	1	5		\$ 705.40
Community Development	\$ 24.77	1	5		\$ 123.85
Sub Total					\$ 829.25
Equipment	Rate	Count	Hours	Flat Fee	Total
Mower	\$ 20.00	1	5		\$ 100.00
Bobcat	\$ 48.00	1	5		\$ 240.00
Trailer	\$ 7.00	1	5		\$ 35.00
Weedeater	\$ 10.00	3	5		\$ 150.00
Chain Saw	\$ 10.00	1	5		\$ 50.00
Pole Saw	\$ 10.00	2	5		\$ 100.00
1 Ton Truck	\$ 15.00	2	5		\$ 150.00
1/4 Ton Truck	\$ 9.00	2	5		\$ 90.00
1/2 Ton Truck	\$ 12.00	1	5		\$ 60.00
Boom Truck	\$ 45.00	1	5		\$ 225.00
Sub Total					\$ 1,200.00
Other	Rate	Count	Hours	Flat Fee	Total
Legal				\$ 150.00	\$ 150.00
Sub Total					\$ 150.00
TOTALS					
Total					\$ 2,179.25
Statutory Penalty					\$ 250.00
GRAND TOTAL					\$ 2,429.25

MEMORANDUM

To: Mayor and Board of Aldermen

From: Drew Smith, Code Enforcement Officer
Community Development Department



Date: December 2, 2014

Re: Property Adjudication

I recommend that the Mayor and Board of Aldermen adjudicate the cost of cleaning the following property pursuant to State Statute 21-19-11:

622 RALDE CIRCLE (STEVEN WINTER)

This property was re-entered after the required notice and cleaned by the City of Ridgeland Public Works Department and Community Development Department personnel on 11-13-2014. I have attached an Invoice detailing the cost for the work performed at the property. Thank you for your consideration of this matter. Please contact me if you have any questions.

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street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

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board of alderman: D.I. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY
OF RIDGELAND, MISSISSIPPI SETTING AN ASSESSMENT AGAINST STEVEN
WINTER ON 622 RALDE CIRCLE, RIDGELAND, MISSISSIPPI PURSUANT
TO MISS. CODE ANN. §21-19-11**

Whereas, on October 1, 2013, the Mayor and Board of Aldermen authorized the Department of Community Development of the City of Ridgeland, Mississippi to clean the above referenced property, pursuant to the provisions of Miss. Code Ann. §21-19-11; and,

Whereas, on November 13, 2014, after the appropriate notice had been given, the property was re-entered by City of Ridgeland staff pursuant to the provisions of Miss. Code Ann. §21-19-11;

Whereas, on December 2, 2014, the Mayor and Board of Aldermen did adjudicate that the actual cost of cleaning the property was \$511.25 and found that said amount should be assessed as a lien against the property and enrolled in the office of the Tax Collector of Madison County as other judgments are enrolled.

Now therefore it is resolved by the Mayor and the Board of Aldermen of the City of Ridgeland, Mississippi that pursuant to Miss. Code Ann. §21-19-11, the actual costs of \$511.25, plus the amount of statutory penalty, \$1500.00, for a total amount of \$2011.25 should be assessed as a lien against Steven Winter on his property owned at 622 Ralde Circle, Ridgeland, Mississippi, being Tax Parcel No. 072I-31B-067/00.00.

Further it is resolved that this Resolution should be recorded in the office of the Tax Collector of Madison County as a judgment against Steven Winter and 622 Ralde Circle, Ridgeland, Mississippi.

So resolved this the second day of December, 2014.

CITY OF RIDGELAND, MISSISSIPPI

By: _____
Mayor Gene F. McGee

Attest:

Paula Tierce, City Clerk

mailing address: p.o. box 217 • ridgeland, ms 39158
street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

Gene F. McGee, cmo - mayor • Alan Hart, asla – director of community development

board of alderman: D.I. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6

MEMORANDUM

To: Mayor and Board of Aldermen

From: Drew Smith, Code Enforcement Officer
Community Development Department



Date: December 2, 2014

Re: Property Adjudication

I recommend that the Mayor and Board of Aldermen adjudicate the cost of cleaning the following property pursuant to State Statute 21-19-11:

710 GLEN BURNE LANE (HART HOMES, LLC)

This property was re-entered after the required notice and cleaned by the City of Ridgeland Public Works Department and Community Development Department personnel on 11-13-2014. I have attached an Invoice detailing the cost for the work performed at the property. Thank you for your consideration of this matter. Please contact me if you have any questions.

mailing address: p.o. box 217 • ridgeland, ms 39158
street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

Gene F. McGee, cmo - mayor • Alan Hart, asla – director of community development

board of alderman: D.I. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6

**RESOLUTION OF THE MAYOR AND BOARD OF ALDERMEN OF THE CITY
OF RIDGELAND, MISSISSIPPI SETTING AN ASSESSMENT AGAINST HART
HOMES, LLC ON 710 GLEN BURNE LANE, RIDGELAND, MISSISSIPPI
PURSUANT TO MISS. CODE ANN. §21-19-11**

Whereas, on October 20, 2014, the Mayor and Board of Aldermen authorized the Department of Community Development of the City of Ridgeland, Mississippi to clean the above referenced property, pursuant to the provisions of Miss. Code Ann. §21-19-11; and,

Whereas, on November 13, 2014, after the appropriate notice had been given, the property was entered by City of Ridgeland staff pursuant to the provisions of Miss. Code Ann. §21-19-11;

Whereas, on December 2, 2014, the Mayor and Board of Aldermen did adjudicate that the actual cost of cleaning the property was \$502.85 and found that said amount should be assessed as a lien against the property and enrolled in the office of the Tax Collector of Madison County as other judgments are enrolled.

Now therefore it is resolved by the Mayor and the Board of Aldermen of the City of Ridgeland, Mississippi that pursuant to Miss. Code Ann. §21-19-11, the actual costs of \$502.85, plus the amount of statutory penalty, \$250.00, for a total amount of \$752.85 should be assessed as a lien against Hart Homes, LLC on his property owned at 710 Glen Burne Lane, Ridgeland, Mississippi, being Tax Parcel No. 072H-33D-006/15.00.

Further it is resolved that this Resolution should be recorded in the office of the Tax Collector of Madison County as a judgment against Hart Homes LLC and 710 Glen Burne Lane, Ridgeland, Mississippi.

So resolved this the second day of December, 2014.

CITY OF RIDGELAND, MISSISSIPPI

By: _____
Mayor Gene F. McGee

Attest:

Paula Tierce, City Clerk

mailing address: p.o. box 217 • ridgeland, ms 39158
street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

Gene F. McGee, cmo - mayor • Alan Hart, asla – director of community development

board of alderman: D.I. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6

City of Ridgeland

Property Address: 710 Glen Burne Lane
Cleaning Date: 11-13-2014
Time:2:00 p.m.- 3:00 p.m.

Labor		Rate	Count	Hours	Flat Fee	Total
Public Works		\$ 141.08	1	1		\$ 141.08
Community Development		\$ 24.77	1	1		\$ 24.77
Sub Total						\$ 165.85
Equipment		Rate	Count	Hours		Total
Mower		\$ 20.00	2	1		\$ 40.00
Blower		\$ 10.00	1	1		\$ 10.00
Dump Truck		\$ 54.00	1	1		\$ 54.00
Trailer		\$ 7.00	1	1		\$ 7.00
Weedeater		\$ 10.00	3	1		\$ 30.00
Pole Saw		\$ 10.00	1	1		\$ 10.00
1 Ton Truck		\$ 15.00	1	1		\$ 15.00
1/4 Ton Truck		\$ 9.00	1	1		\$ 9.00
1/2 Ton Truck		\$ 12.00	1	1		\$ 12.00
Sub Total						\$ 187.00
Other		Rate	Count	Hours	Flat Fee	Total
Legal					\$ 150.00	\$ 150.00
Sub Total						\$ 150.00
TOTALS						
Total						\$ 502.85
Statutory Penalty		\$ 250.00				\$ 250.00
GRAND TOTAL						\$ 752.85

MEMORANDUM

To: Mayor and Board of Aldermen

From: Alan Hart, Director
Community Development Department

Mike McCollum, Director
Public Works Department

Date: November 26, 2014

Re: Site / Architectural Review:

MAGNOLIA DENTAL CLINIC

We recommend that the Mayor and Board of Aldermen approve the above referenced site/architectural plan. The Community Development and Public Works Departments have reviewed the above referenced architectural plan to include but not limited to a review of the following: land use, zoning, open space, ingress, egress, building setbacks, building height, lot area, parking, drainage, traffic impact, landscaping, tree ordinance, and water and sewer utilities as established in the City of Ridgeland Development Review Procedures.

The Architectural Review Board met in accordance with the Architectural Review Ordinance at its regularly scheduled meeting on November 25, 2014 and recommended approval of the project as submitted.

Thank you for your consideration of this matter. Please contact me if you have any questions.

mailing address: p.o. box 217 • ridgeland, ms 39158
street address: 304 highway 51 • ridgeland, ms 39157
ph: 601.856.7113 • www.ridgelandms.org

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board of aldermen: D.I. Smith - at-large • Ken Heard, cmo - ward 1, mayor pro tempore • Chuck Gautier, cmo - ward 2
Kevin Holder, cmo - ward 3 • Brian P. Ramsey, cmo - ward 4 • Scott Jones, cmo - ward 5 • Wesley Hamlin, cmo - ward 6



Approved By: [Signature]

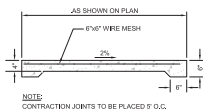


FARNER DESIGNER

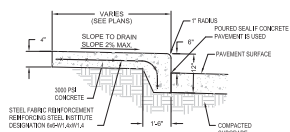


SUBMITTAL TYPE: ARB / PERMIT

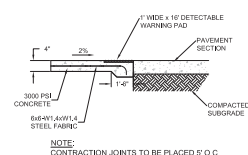




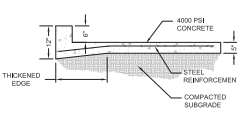
SIDEWALK SECTION
NOT TO SCALE



SIDEWALK DETAIL
NOT TO SCALE



SIDEWALK DETAIL
(HANDICAP PARKING AREA)
NOT TO SCALE



PARKING LOT PAVEMENT SECTION
NOT TO SCALE

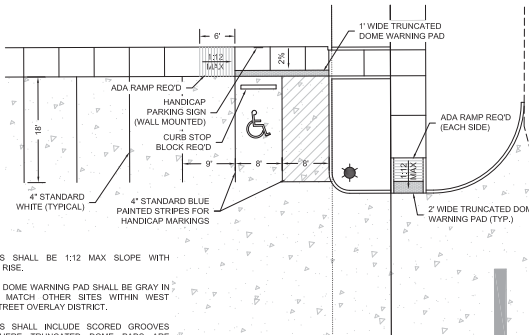
NOTES:

- SUBGRADE SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR DRY DENSITY (ASTM D 698) AT MOISTURE CONTENTS WITHIN 3 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT
- REINFORCEMENT SHALL BE #3 STEEL BARS AT 14" ON CENTER EACH WAY, LOCATED A CLEAR DISTANCE OF 3" FROM SURFACE. PAVEMENT SLABS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ACI, ASTM AND PCA STANDARDS, INCLUDING THICKENED EXTERIOR EDGES AND CORNERS, AND LOAD TRANSFER DEVICES. PAVEMENT SLABS SHALL BE GENERALLY SQUARE AND HAVE A MAXIMUM JOINT SPACING NOT TO EXCEED 12'-6".

NOTES:

- ADA RAMP SHALL BE 1:12 MAX SLOPE WITH MAXIMUM 6" RISE.
- TRUNCATED DOME WARNING PAD SHALL BE GRAY IN COLOR TO MATCH OTHER SITES WITHIN WEST JACKSON STREET OVERLAY DISTRICT.
- ADA RAMP SHALL INCLUDE SCORED GROOVES EXCEPT WHERE TRUNCATED DOME PADS ARE SHOWN.

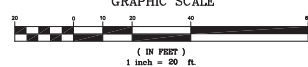
HANDICAP MARKING & SIGN DETAIL
SCALE: 1" = 10'



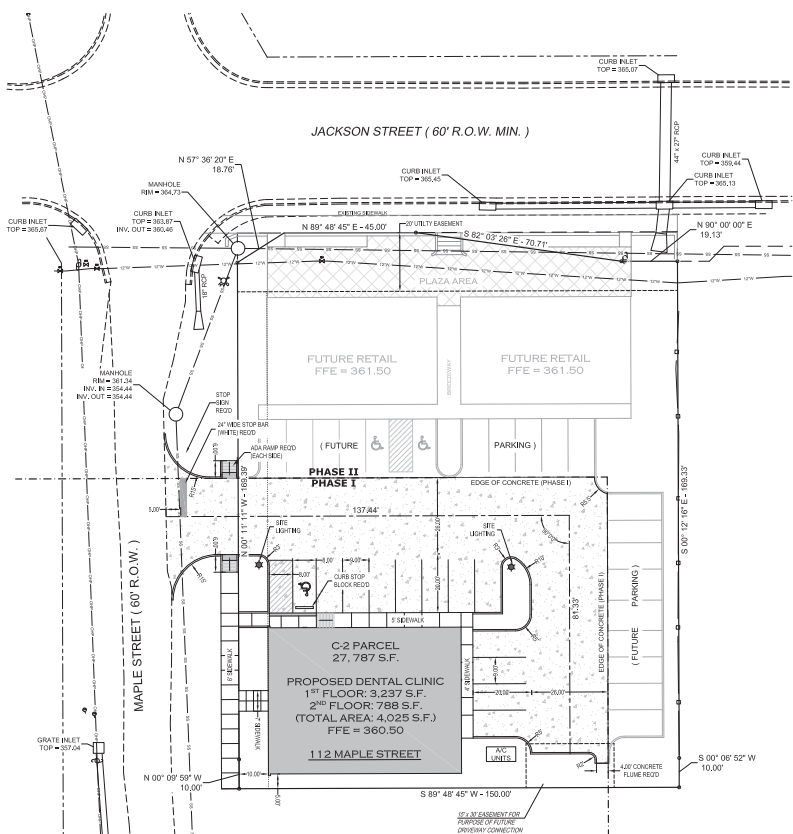
PARKING SIGNS
NOT TO SCALE



GRAPHIC SCALE



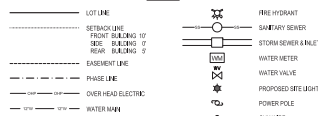
SITE LAYOUT PLAN
SCALE: 1" = 20'

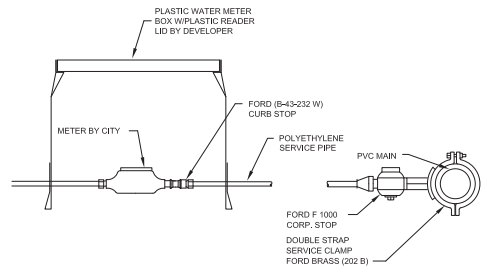


NOTES

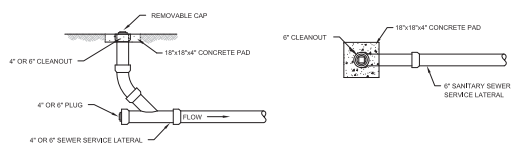
- Site Information:
Location: Corner of Maple Street & Jackson Street
Address: 112 Maple Street
Parcel Area: 0.64 Acres (27,787 Square Feet)
Zoning District: West Jackson Street Overlay District
Current Zoning: C-2 Commercial District
Proposed Zoning: C-2 Commercial District
Yard Setbacks: Front: 10' Sides: 0' Rear: 5'
- Proposed Land Use: Phase I: Dental Clinic
Phase II: Retail
- Proposed Gross Lot Coverage:
Phase I: Building & Pavement: 11,357 Sq. Ft.
Landscaping & Green Area: 1,959 Sq. Ft.
Phase II: Building & Pavement: 11,403 Sq. Ft.
Landscaping & Green Area: 3,098 Sq. Ft.
- Access to the Site is directly off Maple Street.
- Parking spaces: Phase I: 11 Regular & 1 Handicap Spaces
Phase II: 16 Regular & 2 Handicap Spaces
- Proposed Municipal Utility Connections:
Domestic Water - 1" Water Service & Meter
Irrigation - 1" Water Service & Meter
Sanitary Sewer - 8" Sewer Service with Finished Grade Cleanout
- Proposed Building Floor Area: 4,025 Sq. Ft.
- Proposed Signage:
(To be determined - per City Sign Ordinance)
- Proposed Garbage Storage: None Proposed. Owner will use private service for pick-up & disposal.
- No Grease Trap is proposed for this Project.
- No additional fire protection is proposed for this Project.
- Site lighting is shown on Site Plan for reference. Refer to Electrical plans for sheets of fixture type and photometric layout.
- This property appears to be situated in Flood Zone "X" (areas determined to be outside 500-year floodplain) according to the Flood Insurance Rate Map Community Panel Number 26059 C 0567 F, effective date March 17, 2010.
- Best Management Practices (BMP's), including aggregate construction drive, silt fencing and inlet barriers will be utilized throughout construction.

LEGEND

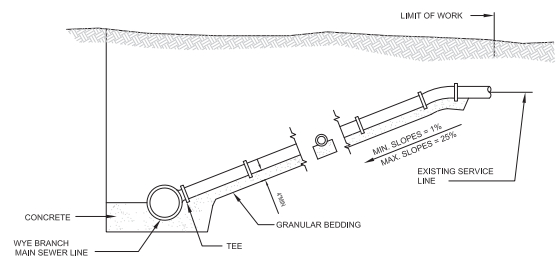




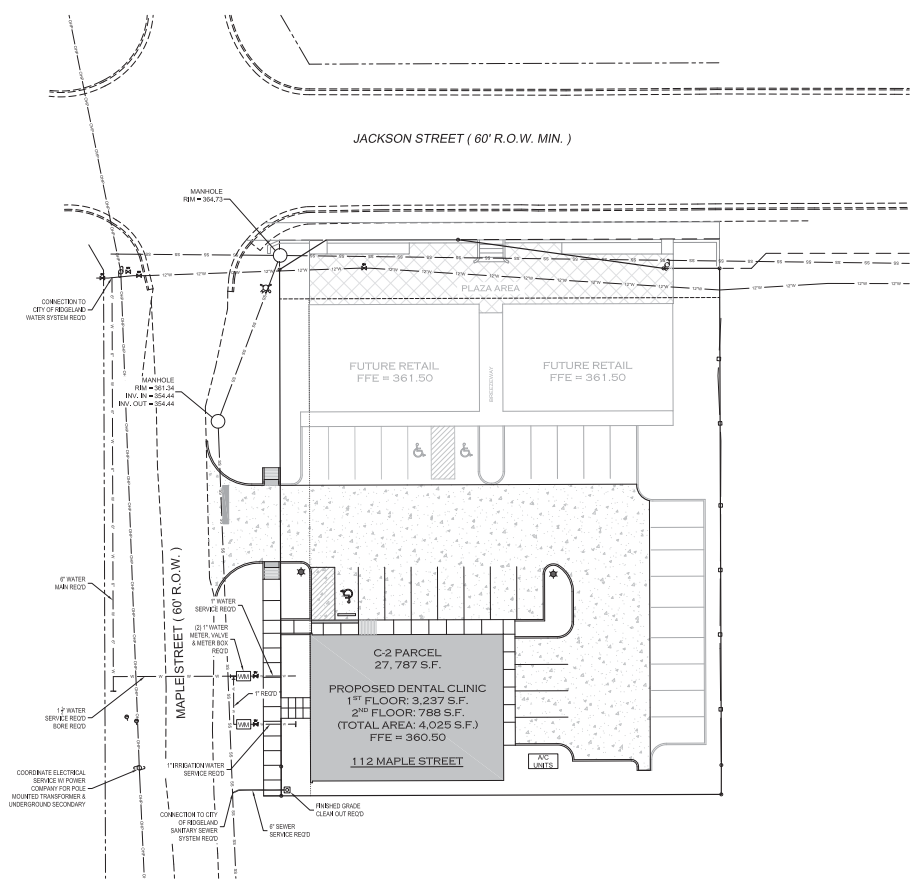
WATER SERVICE ASSEMBLY
NOT TO SCALE



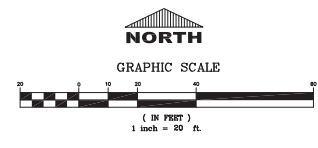
FINISHED GRADE CLEAN OUT DETAIL (FGCO)
NOT TO SCALE



SEWER SERVICE LINE CONNECTION
NOT TO SCALE



- LEGEND**
- LOT LINE
 - SETBACK LINE
 - FRONT BUILDING 10' (SEE BUILDING 1)
 - REAR BUILDING 5'
 - SEWER MAIN
 - PHASE LINE
 - OVERHEAD ELECTRIC
 - WATER MAIN
 - FIRE HYDRANT
 - SANITARY SEWER
 - STORM SEWER & RILET
 - WATER METER
 - WATER VALVE
 - PROPOSED SITE LIGHTING
 - POWER POLE
 - GUY WIRE



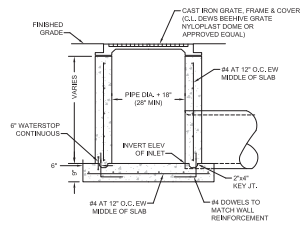
SITE UTILITIES PLAN
SCALE: 1" = 20'



NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

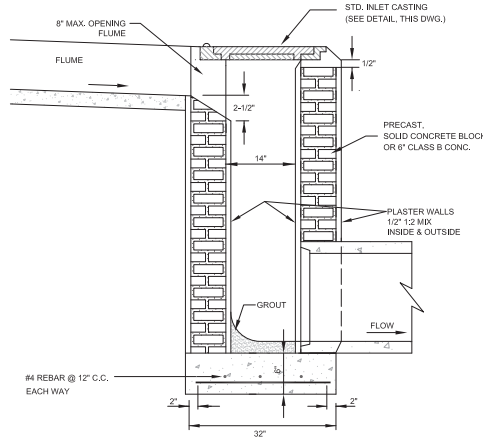
Project No: _____
 Date: NOVEMBER 12, 2014
 Drawn: RAP
 Checked: RCV

MAGNOLIA DENTAL CLINIC
112 MAPLE STREET
RIDGELAND, MISSISSIPPI

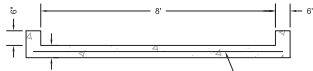


AREA INLET
NOT TO SCALE

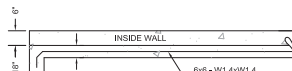
NOTE: INLETS MAY BE CONCRETE PRECAST OR SOLID CONCRETE BLOCK CONSTRUCTION W/ 1/2" MORTAR PLASTERED WALLS



SECTION OF STANDARD CURB INLET
NOT TO SCALE

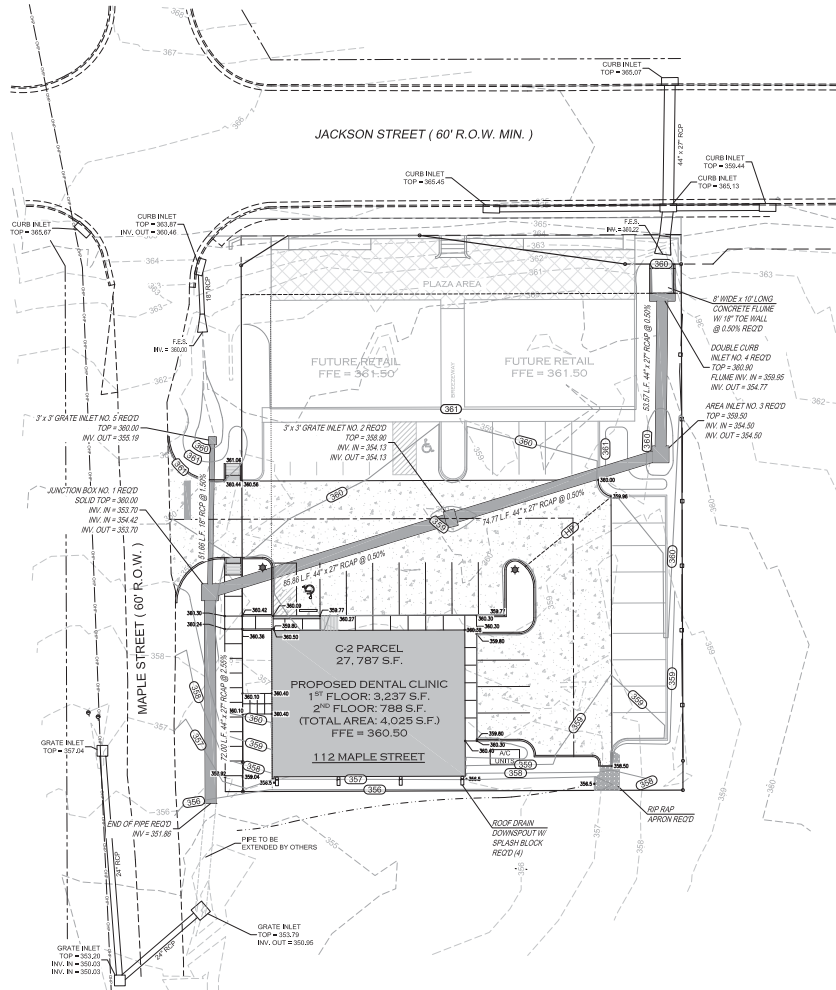


CROSS SECTION

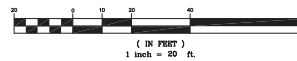


UPSTREAM END SECTION

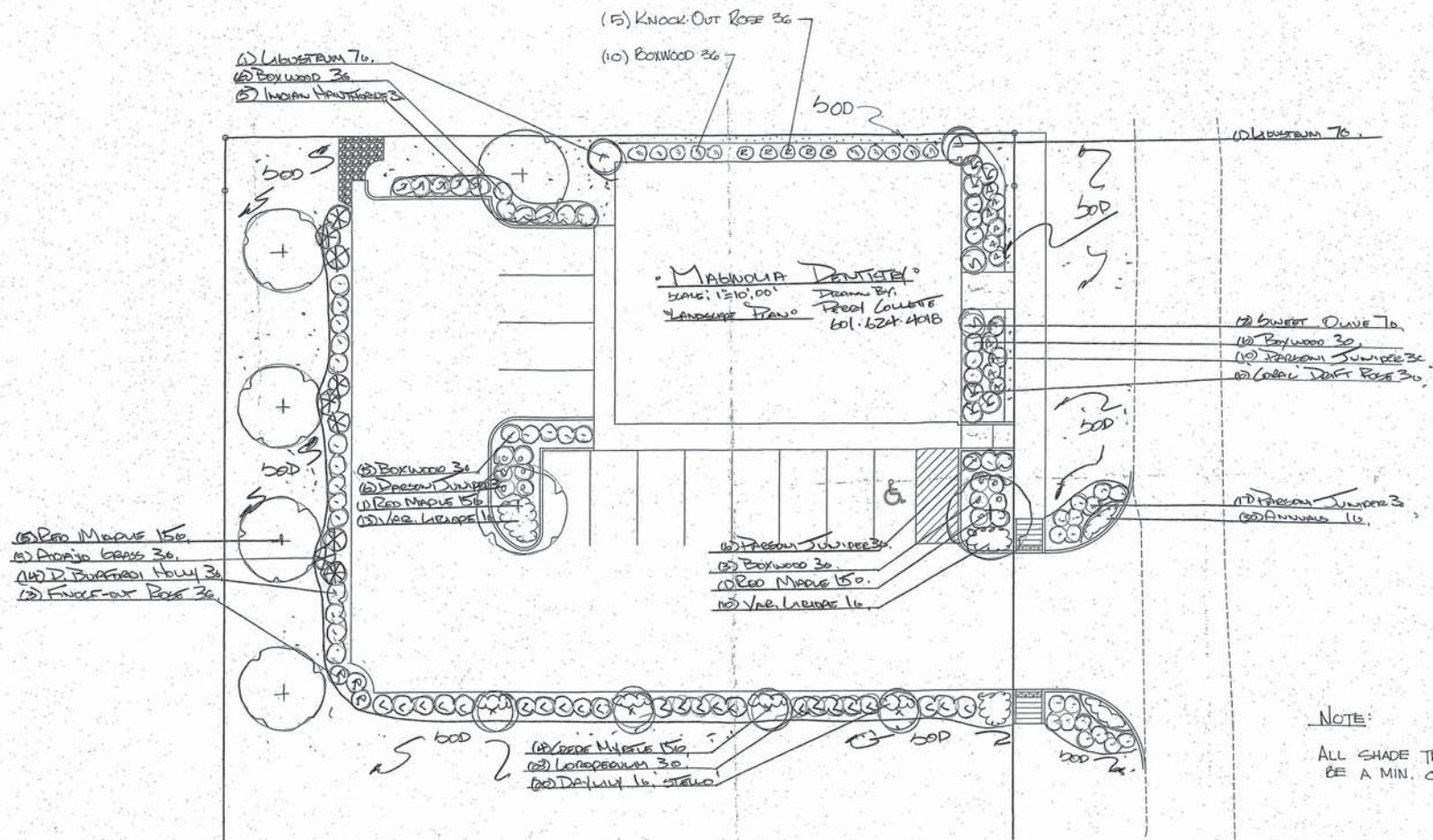
CONCRETE FLUME DETAILS
NOT TO SCALE



GRAPHIC SCALE



GRADING & DRAINAGE PLAN
SCALE: 1" = 20'





Mitigation Table for use with Sites less than 10 Acres			
Line	Item	Quantity	Unit
A	Total Existing Canopy Coverage of Site	11,880	(Square Feet)
B	Baseline for Mitigation (Line A times 20 divided by 43,560 S.F.)	5.5	(Mitigation Trees)
C	Existing Canopy Coverage to be Preserved	0	(Square Feet)
D	Preservation Tree Credit (Line C divided by 1,000 S.F.)	0	(Mitigation Trees)
E	Total Mitigation Requirement (Line B minus Line D)	6	(Mitigation Trees)
F	Mitigation Option A - On Site Mitigation (Number of Mitigation Units Applicant prefers to use for On-Site Mitigation)	7	(Mitigation Trees)
G	Mitigation Option B - Contribution to the In-Lieu Fund (Line E minus Line F times \$300.00)		(Dollars)

MAGNOLIA DENTAL CLINIC EXHIBIT OF TREE MITIGATION CITY OF RIDGELAND MADISON COUNTY, MISSISSIPPI



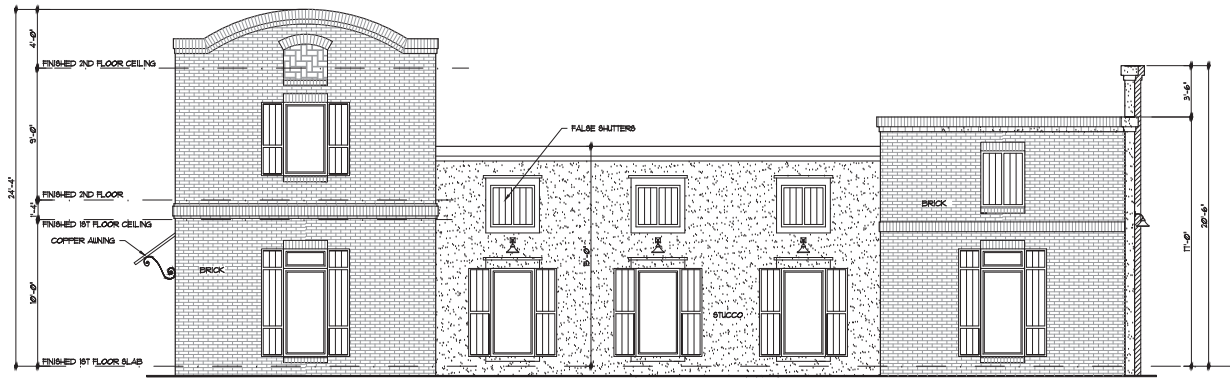


3 5 7
LAST UPDATE:
10/7/14
SHEET NUMBER
A-3



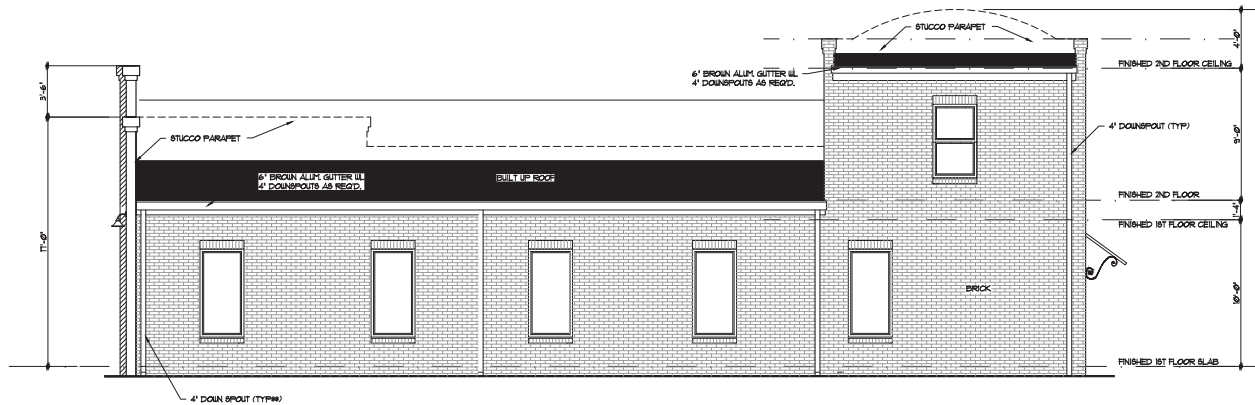
MS - 106

© 2014 Rick Garner Designer



LEFT SIDE ELEVATION (NORTH)

JACKSON STREET



1/4" = 1'-0"

LIABILITY WARNING:
RICK GARNER DESIGNER is responsible for the design and construction of the design intent only. RICK GARNER assumes absolutely no liability for these documents when additions or modifications are made by others. Refer to your Design Document Package Purchase Agreement.

10/7/14
CH2011

A-4
Elevations

DESIGNED R.G.
CHECKED R.G.
DRAWN R.G.

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"DENTAL CLINIC"
COMMERCIAL

DESCRIPTION	DATE

[illegible]

**MINUTES OF A MEETING OF THE ARCHITECTURAL REVIEW BOARD
OF THE CITY OF RIDGELAND, MISSISSIPPI**

A meeting of the Architectural Review Board of the City of Ridgeland, Mississippi, (the "Board"), was duly called, held, and conducted on Tuesday November 25, 2014 at 6:00 o'clock P.M. in the Ridgeland City Hall in the City of Ridgeland, Madison County, Mississippi.

.....

The following members were present, to-wit:

Bill Dicken, Chairman
Connie Suber
Alex Ross
Randy Knouse

Members Absent:

Donald Pendergrast
Ron Blaylock
Tom Bobbitt
Glenn Ray

Also attending:

Matthew Dodd

The meeting was called to order by Chairman Dicken. Chairman Dicken led the invocation. It was determined by the members present that there wasn't a quorum.

The first item on the agenda was **MAGNOLIA DENTAL CLINIC**. The project was presented by **Mr. Tim Weaver**. The project is located at the intersection of **South Maple Street** and **West Jackson Street**. The Applicant is requesting approval to construct a new dental clinic.

Chairman Dicken opened the floor for a motion. Randy Knouse made a motion to approve the project as a "major" agenda item. Alex Ross seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The next item on the agenda was the **INDUSTRIAL COVE PROPERTY**. The project was presented by **Mr. Jonathan McDaniel**. The project is located off of **Industrial Cove**. The Applicant is requesting approval to construct an accessory storage building. It will be located behind a good neighbor fence that was previously approved by the Board.

Chairman Dicken opened the floor for a motion. Randy Knouse made a motion to approve the project as a "minor" agenda item contingent upon the applicant installing cedar lap siding to hide the gabled ends of the structure. Alex Ross seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The next item on the agenda was **CENTRE PARK SIGN CRITERIA**. The project was presented by **Mr. Matthew Dodd**. The project is located at **1060 E. County Line Road**. The Applicant is requesting approval to amend their previously approved sign criteria.

Chairman Dicken opened the floor for a motion. Connie Suber made a motion to approve the project as a "minor" agenda item. Randy Knouse seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The next item on the agenda was the **125 E. FORD STREET BUILDING**. The project was presented by **Mr. Matthew Dodd**. The project is located at **125 E. Ford Street**. The Applicant is requesting approval to brick the façade of the existing building. The brick will match the adjacent properties building.

Chairman Dicken opened the floor for a motion. Alex Ross made a motion to approve the project as a "minor" agenda item. Connie Suber seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The last item on the agenda was **BUFFALO WILD WINGS**. The project was presented by **Mr. Matthew Dodd**. The project is located at **808 Lake Harbour Drive**. The Applicant is requesting re-approval to previously submitted exterior renovation plans.

Chairman Dicken opened the floor for a motion. Alex Ross made a motion to approve the project as a "minor" agenda item. Connie Suber seconded the motion and a vote was taken thereon as follows:

Alex Ross	Aye
Tom Bobbitt	Absent
Ron Blaylock	Absent
Donald Pendergrast	Absent
Randy Knouse	Aye
Glenn Ray	Absent
Connie Suber	Aye

Chairman Dicken then declared the motion to approve the project carried.

The minutes from the October 28, 2014 meeting were then read and approved by the board. There being no further business to come before the board, the meeting was adjourned.

Bill Dicken, Chairman

ATTEST:

Connie Suber, Secretary



Business Information Systems, Inc.
1350 NE 56th Street, Suite 300 Ft. Lauderdale, FL 33334
Phone: 954-493-7377 Fax: 954-493-6541

Recording System Support Agreement

Between:

BIS Digital, Inc.
1350 NE 56th Street, Suite 300
Fort Lauderdale, FL 33334-6142
Phone: (800) 834-7674
Fax: (877) 858-5611
Email: support@bisdigital.com

And:

Ridgeland Police Department (MS)
304 Hwy 51
Ridgeland, MS 39157
Phone: (601) 856-2121
Contract #: 15-12-A-63206

BIS Digital, Inc. or its appointed service representative agrees to provide system support for the software and hardware listed below, in accordance with the terms and conditions of this agreement.

1. **TERMS AND CONDITIONS**

- A. The term of this agreement is for a period of (12) months from the effective date. Either party upon written receipt, with a ninety 90-day notice, may cancel this agreement. In the event of early termination of service agreement, BIS Digital, Inc will refund monies based upon contract amount prepaid by customer less actual cost of service provided during abbreviated term, or pro rated amount based upon time remaining in contract term rounded to end of month of termination, whichever is less.
- B. The agreement entitles the USER to 24 hours per day, 7 days per week telephone support and on-site support Mon- Fri (8am – 5pm EST) on covered items..
- C. User training: This agreement covers all users training at the user's site during the term of agreement at mutually agreed upon times.
- D. This support agreement is for the USERS integrated system. Any changes or enhancement will be billed for additionally.
- E. Charges for maintenance and support for reasons outside of BIS Digital control, arising from neglect, negligence, misuse, acts of god or modifications to, or failures of systems software and/or hardware not covered under this contract resulting in corruption of BIS Digital software setup/configuration shall be billed at BIS Digital published rates.

2. **COVERAGES**

- A. DCR Software (all BIS Digital supplied licenses). This support agreement is for the USERS current DCR Software version. The USER is not obligated to upgrade since support is available for previous versions. DCR Software Assurance, which provides for all new feature and function upgrades, are billed for at an additional \$300/yr per system. BIS Digital will provide on-line user training as well as on-line diagnosis and repair (web connection required).
- B. Hardware (all BIS supplied Tower PC's, Servers and Video and Telco Interface Boards). BIS will provide replacement or repair. BIS Digital will repair or replace system critical parts at customer site. Customer will be responsible for shipping defective part to BIS Digital. * Special Note: CPU and Motherboards on computers over 48 months old may no longer be available causing the computer to be obsolete. In this event, BIS will provide a \$300 computer replacement credit.
- C. Hardware Accessories (Digital Mixers, PA components, Microphones, Hearing Impaired Devices, USB Foot Controls). BIS Digital will provide replacement or repair. Customer will be responsible for shipping defective unit to BIS Digital. BIS Digital will replace or repair and ship back to customer.

Initials:



BIS Digital



Customer

BIS Digital

Integrating Excellence™



Business Information Systems, Inc.
1350 NE 56th Street, Suite 300 Ft. Lauderdale, FL 33334
Phone: 954-493-7377 Fax: 954-493-6541

- D. Excluded Hardware (Laptop Computers, All Display Monitors and Headsets). BIS Digital will handle repairs via Manufacturer's warranties (ie: Dell, Toshiba,) but will offer no extended warranties directly.
 - E. On-Site BIS Digital Technical Support. BIS Digital will provide on-site technicians for emergency service during normal working hours at no charge. Emergency is defined to be a complete system down.
3. CUSTOMER RESPONSIBILITY
- A. A proper backup of all data on a regular interval.
 - B. A USER appointed systems administrator to act as a liaison with the support department.
4. CONFIDENTIALITY
- A. BIS Digital, Inc. agrees that all data that may be entered into the system is strictly confidential and shall remain the property of the USER. Business Information Systems shall not, without prior written consent, disclose to any third party any such data acquired in connection with this agreement or any other services.
5. PAYMENT
- A. Invoices shall be sent once per year and payment shall be due in full upon receipt.
 - B. At Business Information Systems option, support coverage may be halted for non-payment of any invoice greater than sixty (60-days) beyond the due date.
6. LIABILITY
- A. In no event shall Business Information Systems, Inc. be liable for any direct or indirect losses or damages, or any other claims arising in connection with this agreement to the USER, including loss of data or earnings due to equipment down time.
 - B. Business Information Systems sole responsibility with respect to the maintenance and support shall be limited to those outlined in this agreement.
 - C. ~~Business Information Systems, Inc. shall not be liable for any damages, including consequential damages, arising out of the use of the system.~~

This contract covers the following equipment

Purchased on Invoice #63206 / PO # 12-41240
Installed on 7/11/12:

- * DCR IR (2 Ch) Digital Audio/Video Recording Software w/Notes (T) for Police Interview Rooms with Software Assurance (1)
- * 2nd Video Channel for DCR Products (1)
- * Wall Plate Mountable Microneck Condenser Microphone (1)
- * 8801 Single-channel 48V Phantom Power (1)
- * USB 2ch Audio Capture Device (1)
- * Interview Room IP Camera {s/n: 00408CBFD47F & 00408CBFD480}
- * Network Switch w/PoE (8 Port) {s/n: PSJ16100AYM}

Initials:

BIS Digital

Customer

BIS Digital

Integrating Excellence™



Business Information Systems, Inc
1350 NE 56th Street, Suite 300 Ft. Lauderdale, FL 33334
Phone: 954-493-7377 Fax: 954-493-6541

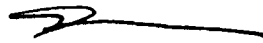
The terms and conditions stated herein form the complete agreement between the parties. Please note: Any additions to this agreement (new systems) will be prorated to coincide with this contract.

Start Date: 1/1/2015
End Date: 12/31/2015
Annual Cost: \$1,050.00
Contract #: 15-12-A-63206
Invoice #: 68143

Accepted By:

BIS Digital, Inc.

Ridgeland Police Department (MS)


By Steve Coldren

By

President

Title

Title

October 22, 2014

Date

Date

Initials:



BIS Digital

Customer

REMIT TO:

Business Information Systems, Inc.
1350 NE 56th Street - Suite 300
Fort Lauderdale, FL 33334
954-493-7377
www.bisdigital.com

**Invoice**

Date	Invoice #
10/22/2014	68143

SOLD TO:

Ridgeland Police Department
115 West School Street
Ridgeland MS 39157
Attn: Ray Stevens

SHIP TO:

Ridgeland Police Department
304 Hwy 51
Ridgeland, MS 39157
Attn: Joe Kirchner

Cust Acct #	P.O. Number	Terms	Due Date	Rep
RID302		SEE BELOW	11/30/2014	MNT

Quantity	Item Code	Description	Start Date	End Date	Price Each	Amount
1	MNT-R-D...	#15-12-A-63206 Renewal Contract BIS Digital Recording System Maintenance (see attached contract for equipment list)	1/1/15	12/31/15	750.00	750.00
1	DCR SAS	Annual DCR Software Assurance (per license) Coincides with Maintenance Contract	1/1/15	12/31/15	300.00	300.00
	PAYMEN...	Payment due in advance of contract expiration to ensure continuous coverage. Please remit payment no later than 11/30/14				0.00
Please include your account number and invoice number on all payments. Thank you			Sales Tax: (0.0%)		\$0.00	
			Total Due:		\$1,050.00	

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-61100	RIDGELAND TOURISM COMMISS	119675	TOURISM TAX	I 201411185813	11/17/2014	112,012.23
			TOURISM TAX	001-000-101	112,012.23	
TOTAL =						112,012.23

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-03495	MISS DEPARTMENT OF REVENUE	119676	PENALTY PYMT FOR AUG WITHHOLDI	I 201411185812	10/07/2014	2,435.10
			PENALTY PYMT FOR AUG WITHHOLDI	001-080-540	2,435.10	
01-03495	MISS DEPARTMENT OF REVENUE	119677	OCTOBER 2014 SALES TAX	I 201411185815	11/18/2014	6,591.63
			OCTOBER 2014 SALES TAX	001-000-104	24.50	
			OCTOBER 2014 SALES TAX	400-000-111	6,567.13	
TOTAL =						9,026.73

FUND TOTALS		
FUND	NAME	TOTAL
001	GENERAL FUND	114,471.83
400	PUBLIC UTILITIES FUND	6,567.13
TOTALS FOR ALL FUNDS = 121,038.96		

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-03495	MISS DEPARTMENT OF REVENU	119678	TAG FOR STREET DEPT	I 201411255827	11/25/2014	12.00
			TAG FOR STREET DEPT	001-201-632	12.00	
TOTAL =						12.00

FUND TOTALS		
FUND	NAME	TOTAL
001	GENERAL FUND	12.00
TOTALS FOR ALL FUNDS =		12.00

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-04556	303 TECHNOLOGY LLC	119679	PATCH CABLES/MGT - CISCO PATCH CABLES/MGT - CISCO	I INV23614 001-042-501	10/31/2014 1,670.31	1,670.31
01-04556	303 TECHNOLOGY LLC	119680	BLOCK OF TIME SUPPORT BLOCK OF TIME SUPPORT	I INV23706 001-042-604	10/31/2014 5,800.00	5,800.00
01-00515	A S F P M	119681	CERTIFICATION RENEWAL CERTIFICATION RENEWAL	I 201411185817 001-201-686	11/13/2014 60.00	60.00
01-01350	ADCAMP INC	119682	ASPHALT TAC ASPHALT TAC	I 34317 001-201-575	10/31/2014 875.00	875.00
01-01655	ADVANTAGE BUSINESS SYSTEM	119683	CORRM0: 11-17-14 - 12-16-14 CORRM0: 11-17-14 - 12-16-14	I 97592 001-040-635	11/12/2014 234.02	234.02
01-02164	AETNA	119684	863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014 863057-10-00001: DEC 2014	I 201411255828 001-010-480 001-020-480 001-040-480 001-040-480 001-092-480 001-040-480 001-100-480 001-160-480 001-180-480 001-201-480 001-340-480 005-101-480 400-650-480 404-650-480 001-000-170 005-000-170 400-000-170 404-000-170	11/17/2014 106.00 95.40 63.60 10.60 21.20 10.60 890.40 604.20 116.60 360.40 137.80 31.80 265.00 10.60 132.80 1.66 14.94 0.00	2,873.60
01-01685	AFFORDABLE TREE SERVICE	119685	DEAD TREE REMOVAL DEAD TREE REMOVAL	I 201411205821 001-340-604	11/14/2014 1,100.00	1,100.00
01-01558	AMERICA'S CHOICE CHEMICAL	119686	SUPPLIES RED GREASE BRAKE CLEANER FUEL INJECTOR CLEANER PARTS WASHER FLUID	I 12173 001-201-540 001-201-540 001-201-540 001-201-540	11/12/2014 439.80 238.80 238.80 298.50	1,215.90
01-01944	ATMOS ENERGY	119687	3013046088:10-23-14 - 11-20-14 3013046088:10-23-14 - 11-20-14	I 201411255829 001-160-630	11/20/2014 270.91	270.91
01-04524	AUTO PLUS	119688	6" MIRROR HYDRI FITTING	I 34341408 400-650-632	11/03/2014 18.75	18.75
01-04524	AUTO PLUS	119689	6" MIRROR	I 34613091	11/03/2014	61.36

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-04524	AUTO PLUS	119689	6" MIRROR	I 34613091	11/03/2014	61.36
			6" MIRROR	400-650-632	61.36	CONT
01-04524	AUTO PLUS	119690	6" MIRROR	I 34614163	11/12/2014	304.87
			UPPER BALL JOINT	001-201-632	36.90	
			LOWER BALL JOINT	001-201-632	56.42	
			LH HUB ASSY	001-201-632	144.30	
			OIL SEAL	001-201-632	27.54	
			BRAKE PADS	001-201-632	39.71	
01-04524	AUTO PLUS	119691	6" MIRROR	I 34614220	11/13/2014	87.24
			LH DOOR HANDLE	001-201-632	43.62	
			RH DOOR HANDLE	001-201-632	43.62	
01-04524	AUTO PLUS	119692	6" MIRROR	I 34614236	11/13/2014	8.57
			STARTER SOLENOID	001-201-632	8.57	
01-04524	AUTO PLUS	119693	6" MIRROR	I 34614372	11/17/2014	8.90
			FUEL CAP	001-201-632	8.90	
01-02958	AUTOZONE INC	119694	FD-HEADLIGHTS	I 4903334355	11/12/2014	30.58
			HEADLIGHTS	001-160-632	30.58	
01-00867	BAILEY, MATTHEW	119695	ADV TRAV: 12-09-14 - 12-10-14	I 201411255830	11/20/2014	82.00
			ADV TRAV: 12-09-14 - 12-10-14	001-160-610	82.00	
01-03925	BANCORPSOUTH EQUIPMENT FI	119696	LEASE FOR WHEEL LOADER	I 34	12/01/2014	1,199.85
			LEASE FOR WHEEL LOADER	001-201-640	1,199.85	
01-00615	BARLOW CONSTRUCTION	119697	SHOP ENCLOSURE	I 14-029-03	11/11/2014	3,742.24
			CONCRETE	001-340-720	2,947.00	
			PIPE	001-340-720	690.48	
			BOLLARDS	001-340-720	104.76	
01-07400	BLURTON, BANKS & ASSOCIAT	119698	ROAD BORE STEED ROAD	I 054-636	11/20/2014	4,160.00
			ROAD BORE STEED ROAD	400-650-604	4,160.00	
01-08800	BUFORD PLUMBING CO	119699	FD-TOILET @ CENTRAL	I 136393	11/05/2014	136.72
			TRIP CHARGE	001-160-637	15.00	
			MATERIAL	001-160-637	21.72	
			LABOR	001-160-637	100.00	
01-08825	BUILDING OFFICIALS ASSOCI	119700	REGISTRATION	I 201411185814	11/13/2014	100.00
			REGISTRATION	001-201-681	100.00	
01-08825	BUILDING OFFICIALS ASSOCI	119701	MEMBERSHIP	I 201411185816	11/10/2014	100.00
			MEMBERSHIP	001-180-686	100.00	
01-03906	BUSBY, PATRICIA	119702	NOVEMBER 17, 2014 MEETING	I 111714	11/17/2014	50.00
			NOVEMBER 17, 2014 MEETING	001-340-611	50.00	
01-03826	C SPIRE WIRELESS	119703	0002596490:10-08-14 - 11-07-14	I 201411255832	11/07/2014	1,578.32

VENDOR		DOCKET		*-----INVOICE-----*			
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT	
01-03826	C SPIRE WIRELESS	119703	0002596490:10-08-14 - 11-07-14 I	201411255832	11/07/2014	1,578.32	CONT
			0002596490:10-08-14 - 11-07-14	001-340-605	1,578.32		
01-04318	CAPITAL INDUSTRIAL PRODUC	119704	REPAIR HYDRAULIC CYCLINDE	I 486887-001	11/06/2014	264.00	
			REPAIR HYDRAULIC CYCLINDE	001-201-635	254.00		
			FREIGHT	001-201-635	10.00		
01-03487	CAPITOL CHLORINATOR & UTI	119705	FLOURIDE PUMPS	I 443	10/24/2014	6,450.00	
			FLOURIDE PUMPS	400-650-720	6,300.00		
			FREIGHT	400-650-720	150.00		
01-01441	CAPITOL TOWING INC	119706	TOWING CHARGE	I 73561	10/31/2014	55.00	
			TOWING CHARGE	001-100-632	55.00		
01-11300	CARR PLUMBING SUPPLY INC	119707	TOILET INSERTS	I S1479049.001	10/15/2014	222.04	
			TOILET INSERTS	001-092-637	222.04		
01-01136	CENTERPOINT ENERGY	119708	31796030: 10-06-14 - 11-05-14 I	201411255833	11/10/2014	27.79	
			31796030: 10-06-14 - 11-05-14	001-092-630	27.79		
01-01136	CENTERPOINT ENERGY	119709	30982987: 10-06-14 - 11-05-14 I	201411255834	11/12/2014	17.61	
			30982987: 10-06-14 - 11-05-14	001-100-630	17.61		
01-01136	CENTERPOINT ENERGY	119710	31942477: 10-06-14 - 11-05-14 I	201411255835	11/12/2014	29.48	
			31942477: 10-06-14 - 11-05-14	001-340-630	29.48		
01-02764	CENTRAL MISSISSIPPI CRIME	119711	OCTOBER 2014	I 201411265853	11/25/2014	547.00	
			OCTOBER 2014	001-000-330	547.00		
01-13025	CINTAS CORPORATION LOC #2	119712	02148	I 10700290	11/11/2014	46.64	
			02148	001-180-540	23.32		
			02148	400-650-540	23.32		
01-13025	CINTAS CORPORATION LOC #2	119713	04052	I 10700291	11/11/2014	46.15	
			04052	001-340-540	46.15		
01-13025	CINTAS CORPORATION LOC #2	119714	02147	I 10700292	11/11/2014	39.58	
			02147	001-340-540	39.58		
01-13025	CINTAS CORPORATION LOC #2	119715	04448	I 10700449	11/11/2014	2.55	
			04448	001-201-540	2.55		
01-13025	CINTAS CORPORATION LOC #2	119716	00025	I 10700462	11/11/2014	254.88	
			00025	001-100-604	254.88		
01-13025	CINTAS CORPORATION LOC #2	119717	02148	I 10703166	11/18/2014	51.17	
			02148	001-180-540	25.59		
			02148	400-650-540	25.58		
01-13025	CINTAS CORPORATION LOC #2	119718	04052	I 10703167	11/18/2014	49.69	
			04052	001-340-540	49.69		

VENDOR NUMBER	NAME	DOCKET NUMBER	COMMENT	*-----INVOICE-----*		
				NUMBER	DATE	AMOUNT
01-13025	CINTAS CORPORATION LOC #2	119719	02147	I 10703168	11/18/2014	43.11
			02147	001-340-540	43.11	
01-13025	CINTAS CORPORATION LOC #2	119720	04448	I 10703321	11/18/2014	263.45
			04448	001-201-535	263.45	
01-13025	CINTAS CORPORATION LOC #2	119721	04450	I 10703322	11/18/2014	219.13
			04450	400-650-535	219.13	
01-13025	CINTAS CORPORATION LOC #2	119722	04448	I 10703323	11/18/2014	2.55
			04448	001-201-540	2.55	
01-13025	CINTAS CORPORATION LOC #2	119723	04450	I 10703324	11/18/2014	58.52
			04450	400-650-540	58.52	
01-13025	CINTAS CORPORATION LOC #2	119724	04052	I 10706068	11/25/2014	49.69
			04052	001-340-540	49.69	
01-13025	CINTAS CORPORATION LOC #2	119725	02147	I 10706069	11/25/2014	43.11
			02147	001-340-540	43.11	
01-13025	CINTAS CORPORATION LOC #2	119726	04448	I 10706221	11/25/2014	263.45
			04448	001-201-535	263.45	
01-13025	CINTAS CORPORATION LOC #2	119727	04450	I 10706222	11/25/2014	139.37
			04450	400-650-535	139.37	
01-13025	CINTAS CORPORATION LOC #2	119728	04448	I 10706223	11/25/2014	2.55
			04448	001-201-540	2.55	
01-13025	CINTAS CORPORATION LOC #2	119729	04450	I 10706224	11/25/2014	22.57
			04450	400-650-540	22.57	
01-13200	CITY OF JACKSON	119730	DECEMBER 2014	I 201411255831	12/01/2014	228,601.26
			DECEMBER 2014	404-650-688	228,601.26	
01-02440	COMCAST CABLE	119731	311421010: 11-01-14 - 11-30-14	I 201411255836	10/29/2014	84.90
			311421010: 11-01-14 - 11-30-14	001-160-604	84.90	
01-02660	COMCAST CABLE	119732	426510013: 11-19-14 - 12-18-14	I 201411255837	11/17/2014	84.90
			426510013: 11-19-14 - 12-18-14	001-201-604	84.90	
01-17962	DEEP SOUTH SCUBA	119733	FD-TANKS	I 201411185818	11/12/2014	1,230.00
			TANKS	001-160-540	1,230.00	
01-17962	DEEP SOUTH SCUBA	119734	FD-SCREWS FOR TANKS	I 201411185819	10/31/2014	124.00
			VALVE NUTS	001-160-540	104.00	
			K VALVE SPRINGS	001-160-540	20.00	
01-18050	DELL MARKETING L.P.	119735	GRAPHICS PROGRAM	I XJK6WPRK2	10/24/2014	544.78
			CREATIVE CLOUD	001-340-501	544.78	

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-18050	DELL MARKETING L.P.	119736	GRAPHICS PROGRAM	I XJKDMTRN4	11/10/2014	447.12
			GRAPHICS SUITE X7	001-340-501	376.41	
			1 YR MAINT.	001-340-501	70.71	
01-18605	DEVINEY EQUIPMENT	119737	HEADLIGHT BULB	I IV13684	11/12/2014	50.64
			HEADLIGHT BULB	400-650-635	45.21	
			FREIGHT	400-650-635	5.43	
01-18605	DEVINEY EQUIPMENT	119738	JOYSTICK VALVE ASSY.	I IV13879	11/19/2014	1,798.76
			JOYSTICK VALVE ASSY.	400-650-635	1,772.76	
			FREIGHT	400-650-635	26.00	
01-18615	DICKEN, BILL	119739	OCTOBER 28, 2014 MEETING	I 102814	10/28/2014	50.00
			OCTOBER 28, 2014 MEETING	001-180-611	50.00	
01-18620	DICKERSON & BOWEN INC	119740	TONS OF ASPHALT	I 65756	10/28/2014	3,539.83
			TONS OF ASPHALT	001-201-575	3,539.83	
01-18620	DICKERSON & BOWEN INC	119741	TONS OF ASPHALT	I 65802	11/04/2014	5,319.20
			TONS OF ASPHALT	001-201-575	5,319.20	
01-19150	DIVE RESCUE INTERNATIONAL	119742	FD-PFD	I 168525	11/12/2014	749.90
			PFD	001-160-540	719.90	
			FREIGHT	001-160-540	30.00	
01-04590	EDGE THEORY	119743	OCTOBER - DECEMBER 2014 SERVIC	I 1608	11/17/2014	4,500.00
			OCTOBER - DECEMBER 2014 SERVIC	001-040-604	4,500.00	
01-04298	ELKINS WHOLESALE INC	119744	FD-MOP HEADS	I 226110-00	11/12/2014	27.36
			MOP HEADS	001-160-510	27.36	
01-04298	ELKINS WHOLESALE INC	119745	FD-PEROXY, LAUNDRY DET	I 226316	11/17/2014	143.94
			LAUNDRY DETERGENT	001-160-510	74.58	
			CLEAN BY PEROXY	001-160-510	69.36	
01-03711	EMERGENCY EQUIPMENT PROFE	119746	FD-COMPRESSOR MTC	I 412323	11/05/2014	1,001.25
			FD-COMPRESSOR MTC	001-160-635	1,001.25	
01-21155	EMERGENCY MEDICAL PRODUCT	119747	FD-TYVEK SUITS, MASKS, TH	I 1690028	10/31/2014	659.99
			TYVEK SUITS - XL	001-160-540	234.75	
			TYVEK SUITS - XXL	001-160-540	242.25	
			MASKS	001-160-540	129.99	
			RING CUTTER	001-160-540	53.00	
01-21155	EMERGENCY MEDICAL PRODUCT	119748	FD-TYVEK SUITS, MASKS, TH	I 1693142	11/13/2014	279.80
			NO CONT THERMOMETER	001-160-540	279.80	
01-21506	ENTERGY	119749	82141797: 09-19-14 - 10-20-14	I 201411255838	10/27/2014	113.34
			82141797: 09-19-14 - 10-20-14	001-201-684	113.34	
01-21506	ENTERGY	119750	100962737: 10-21-14 - 11-20-14	I 201411255839	11/25/2014	6.62

VENDOR		DOCKET		*-----INVOICE-----*				
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT		
01-21506	ENTERGY	119750	100962737: 10-21-14 - 11-20-14 I	201411255839	11/25/2014	6.62	CONT	
			100962737: 10-21-14 - 11-20-14	400-650-630	6.62			
01-21506	ENTERGY	119751	105612568: 10-20-14 - 11-18-14 I	201411255840	11/25/2014	141.59		
			105612568: 10-20-14 - 11-18-14	001-201-684	141.59			
01-21506	ENTERGY	119752	105612600: 10-20-14 - 11-18-14 I	201411255841	11/25/2014	440.17		
			105612600: 10-20-14 - 11-18-14	001-201-684	440.17			
01-21506	ENTERGY	119753	44930162: 10-20-14 - 11-18-14 I	201411255842	11/25/2014	21.52		
			44930162: 10-20-14 - 11-18-14	400-650-630	21.52			
01-21506	ENTERGY	119754	67890079: 10-20-14 - 11-19-14 I	201411255843	11/25/2014	35.04		
			67890079: 10-20-14 - 11-19-14	400-650-630	35.04			
01-21506	ENTERGY	119755	82141797: 10-20-14 - 11-20-14 I	201411255844	11/25/2014	117.02		
			82141797: 10-20-14 - 11-20-14	001-201-684	117.02			
01-21506	ENTERGY	119756	100962695: 10-22-14 - 11-19-14 I	201411265854	11/26/2014	6.62		
			100962695: 10-22-14 - 11-19-14	400-650-630	6.62			
01-21506	ENTERGY	119757	100962703: 10-22-14 - 11-22-14 I	201411265855	11/26/2014	6.62		
			100962703: 10-22-14 - 11-22-14	400-650-630	6.62			
01-21506	ENTERGY	119758	101379923: 10-23-14 - 11-22-14 I	201411265856	11/26/2014	281.46		
			101379923: 10-23-14 - 11-22-14	001-201-684	281.46			
01-21506	ENTERGY	119759	17002775: 10-18-14 - 11-19-14 I	201411265857	11/26/2014	11.99		
			17002775: 10-18-14 - 11-19-14	400-650-630	11.99			
01-21506	ENTERGY	119760	47143144: 10-22-14 - 11-20-14 I	201411265858	11/26/2014	34.91		
			47143144: 10-22-14 - 11-20-14	400-650-630	34.91			
01-21506	ENTERGY	119761	47143193: 10-22-14 - 11-20-14 I	201411265859	11/26/2014	44.89		
			47143193: 10-22-14 - 11-20-14	400-650-630	44.89			
01-21506	ENTERGY	119762	74592593: 10-21-14 - 11-22-14 I	201411265860	11/26/2014	84.82		
			74592593: 10-21-14 - 11-22-14	400-650-630	84.82			
01-21506	ENTERGY	119763	74592635: 10-21-14 - 11-22-14 I	201411265861	11/26/2014	208.29		
			74592635: 10-21-14 - 11-22-14	400-650-630	208.29			
01-21506	ENTERGY	119764	75485649: 10-22-14 - 11-20-14 I	201411265862	11/26/2014	12.03		
			75485649: 10-22-14 - 11-20-14	001-201-684	12.03			
01-21506	ENTERGY	119765	78293693: 10-18-14 - 11-19-14 I	201411265863	11/26/2014	124.16		
			78293693: 10-18-14 - 11-19-14	001-201-684	124.16			
01-22500	FEDERAL EXPRESS	119766	1393-1125-6	I 2-836-41392	11/06/2014	19.84		
			1393-1125-6	001-100-540	19.84			
01-03451	FEDEX OFFICE	119767	STREET SWEEPING MAP	I 156600007435	11/17/2014	14.98		

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-03451	FEDEX OFFICE	119767	STREET SWEEPING MAP	I 156600007435	11/17/2014	14.98
			SCAN OF MAP	001-201-604	3.99	
			8 GB DRIVE	001-201-604	10.99	
01-23250	FISHER FIRE EXTINGUISHER	119768	FIRE EXT. INSPECTION	I 53318-AA	11/06/2014	311.50
			FIRE EXT. INSPECTION	001-340-540	198.00	
			RANGE CHARGE CHEM	001-340-540	24.50	
			NEW INSTALL	001-340-540	89.00	
01-23750	FORESTRY SUPPLIERS INC	119769	SUPPLIES	I 676203-00	11/13/2014	624.70
			HARD HAT	001-201-540	42.00	
			3GAL COOLER	001-201-540	64.50	
			5GAL COOLER	001-201-540	67.90	
			SAFETY GAS CAN	001-201-540	76.50	
			LITTER GITTER	001-201-540	70.00	
			SHARPSHOOTER	001-201-540	118.50	
			ORANGE TAPE	001-201-540	50.40	
			GREEN FLAG	001-201-540	66.50	
			BLUE FLAG	001-201-540	66.50	
			SPRING HOOK	001-201-540	1.90	
01-24500	FUELMAN OF MS-#127779	119770	127779: 11-17-14 - 11-23-14	I NP42853938	11/24/2014	223.22
			127779: 11-17-14 - 11-23-14	001-020-525	223.22	
01-01867	FUELMAN OF MS-#127780	119771	127780: 11-03-14 - 11-09-14	I NP42772429	11/10/2014	1,417.40
			127780: 11-03-14 - 11-09-14	001-201-525	504.37	
			127780: 11-03-14 - 11-09-14	400-650-525	879.32	
			127780: 11-03-14 - 11-09-14	404-650-525	33.71	
01-01867	FUELMAN OF MS-#127780	119772	127780: 11-10-14 - 11-16-14	I NP42813931	11/17/2014	1,595.02
			127780: 11-10-14 - 11-16-14	001-201-525	736.07	
			127780: 11-10-14 - 11-16-14	400-650-525	822.87	
			127780: 11-10-14 - 11-16-14	404-650-525	36.08	
01-01868	FUELMAN OF MS-#127781	119773	127781: 11-03-14 - 11-09-14	I NP42772430	11/10/2014	488.88
			127781: 11-03-14 - 11-09-14	001-160-525	488.88	
01-01868	FUELMAN OF MS-#127781	119774	127781: 11-10-14 - 11-16-14	I NP42813932	11/17/2014	422.20
			127781: 11-10-14 - 11-16-14	001-160-525	422.20	
01-01869	FUELMAN OF MS-#127782	119775	127782: 11-10-14 - 11-16-14	I NP42813933	11/17/2014	98.28
			127782: 11-10-14 - 11-16-14	001-180-525	98.28	
01-01869	FUELMAN OF MS-#127782	119776	127782: 11-17-14 - 11-23-14	I NP42853941	11/24/2014	159.24
			127782: 11-17-14 - 11-23-14	001-180-525	159.24	
01-01870	FUELMAN OF MS-#127783	119777	127783: 11-03-14 - 11-09-14	I NP42772432	11/10/2014	3,820.32
			127783: 11-03-14 - 11-09-14	001-100-525	3,820.32	
01-01870	FUELMAN OF MS-#127783	119778	127783: 11-10-14 - 11-16-14	I NP42813934	11/17/2014	3,752.71
			127783: 11-10-14 - 11-16-14	001-100-525	3,752.71	

VENDOR NUMBER	NAME	DOCKET		*-----INVOICE-----*		
		NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-01871	FUELMAN OF MS-#127785	119779	127785: 11-03-14 - 11-09-14 127785: 11-03-14 - 11-09-14	I NP42772433 001-340-525	11/10/2014 31.73	31.73
01-01871	FUELMAN OF MS-#127785	119780	127785: 11-10-14 - 11-16-14 127785: 11-10-14 - 11-16-14	I NP42813935 001-340-525	11/17/2014 257.33	257.33
01-01871	FUELMAN OF MS-#127785	119781	127785: 11-17-14 - 11-23-14 127785: 11-17-14 - 11-23-14	I NP42853943 001-340-525	11/24/2014 78.20	78.20
01-04589	TIMOTHY EARL GARNER	119782	PARCEL 110-0-00-W PARCEL 110-0-00-W	I 201411255845 362-601-700	11/21/2014 54,750.00	54,750.00
01-04505	GCR TIRES & SERVICE	119783	225/70R19 TIRE TIRE MOUNT BALANCE VALVE STEM DISPOSAL ALIGNMENT 225/70R19 TIRE 225/70R19 TIRE TIRE TAX	I 638-44902 400-650-632 400-650-632 400-650-632 400-650-632 400-650-632 400-650-632 400-650-632 400-650-632	11/10/2014 150.00 117.00 36.00 48.00 125.00 350.00 680.52 6.00	1,512.52
01-04578	GILBERT TOOL-SALES	119784	TOOLS RATCHET SET 3PC SAE WRENCH RATCHET METRIC WRENCH RATCHET TEST LIGHT CRIMPING TOOL 4N1 WIRE SET 3 3/4 BUTANE CAN 3PC SAE SOCKET TRAY 3PC METRIC SOCKET TR MULTIMETER MICRO TORCH SOLDERING KIT ALLIGATOR CLIP SET	I 6954 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540 001-201-540	11/17/2014 159.49 99.00 148.00 9.95 42.00 34.60 2.99 36.65 36.49 39.95 48.00 69.95 28.35	755.42
01-02127	GRAY-DANIELS CHEVROLET	119785	PARTS CLIPS COVER	I 643929GC 400-650-632 400-650-632	11/18/2014 7.28 22.12	29.40
01-01101	HANSON PIPE & PRODUCTS IN	119786	6" CONCRETE MH RISER 6" CONCRETE MH RISER 4" CONCRETE MH RISER	I 11160706 400-650-575 400-650-575	11/06/2014 180.00 70.00	250.00
01-27765	HARCROS CHEMICALS INC	119787	150lb CHLORINE 150lb CHLORINE SODIUM FLUORIDE	I 770093991 400-650-575 400-650-575	11/14/2014 1,035.00 1,716.00	2,751.00
01-00393	HAYLES TOWING & RECOVERY	119788	TOWING CHARGE TOWING CHARGE	I 184233 001-201-632	11/05/2014 225.00	225.00

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-29250	HEDERMAN BROTHERS	119789	MINUTE BOOKS/MIN BK SHEET MINUTE BOOKS	I 120384 001-020-540	10/31/2014 640.00	640.00
01-29250	HEDERMAN BROTHERS	119790	MINUTE BOOKS/MIN BK SHEET MINUTE BOOK SHEETS	I 120385 001-020-540	10/31/2014 870.00	870.00
01-03681	HOLLYWOOD FEED, LLC	119791	DOGFOOD DOGFOOD	I 3575454 001-100-540	11/13/2014 139.62	139.62
01-04567	HOMETOWN MAGAZINES	119792	1/4 PAGE AD - HOMETWN MAG 1/4 PAGE AD - HOMETWN MAG	I 1505M 001-093-615	11/12/2014 400.00	400.00
01-32675	INTERSTATE BATTERY SYSTEM	119793	31P-MHD BATTERY 31P-MHD BATTERY	I 670225 400-650-632	11/06/2014 111.95	111.95
01-32675	INTERSTATE BATTERY SYSTEM	119794	FD-BATTERY battery	I 670495 001-160-637	11/19/2014 84.95	84.95
01-04057	ITSVVY	119795	HARD DRIVE HARD DRIVE	I 753934 001-100-501	11/07/2014 48.08	48.08
01-02776	J S I COMMUNICATIONS	119796	RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE RPR FIBER SPLICE	I 2185 001-010-635 001-020-635 001-042-635 001-080-635 001-100-635 001-160-635 001-180-635 001-201-635 001-340-635 400-650-635	11/17/2014 80.48 12.38 55.72 6.19 557.18 396.22 74.29 43.34 61.91 74.29	1,362.00
01-33385	JACKSON DATA PRODUCTS IN	119797	MAYOR'S SIGNATURE STAMP MAYOR'S SIGNATURE STAMP	I 0054723-001 001-020-540	11/17/2014 35.27	35.27
01-33425	JACKSON GENERATOR & START	119798	REBUILD STARTER REBUILD STARTER	I INV-471115986 400-650-632	10/30/2014 195.00	195.00
01-03705	JWH EQUIPMENT LLC	119799	OUTRIGGER PADS OUTRIGGER PADS	I IJ08039 400-650-635	11/03/2014 284.92	284.92
01-03705	JWH EQUIPMENT LLC	119800	OUTRIGGER PADS SNAP RING SNAP RING	I IJ08123 400-650-635 400-650-635	11/12/2014 25.08 21.78	46.86
01-00973	KIMBALL MIDWEST	119801	SHOP SUPPLIES #12 HOSE CLAMP BLUE SPRAY PAINT WHITE SPRAY PAINT 25AMP MINI FUSE	I 3881012 400-650-540 400-650-540 400-650-540 400-650-540	11/06/2014 7.00 312.48 104.16 12.50	678.83

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-00973	KIMBALL MIDWEST	119801	SHOP SUPPLIES	I 3881012	11/06/2014	678.83
			17/64 DRILL BIT	400-650-540	15.62	
			9/32 DRILL BIT	400-650-540	15.86	
			19/64 DRILL BIT	400-650-540	9.06	
			5/16 DRILL BIT	400-650-540	19.06	
			3/8 DRILL BIT	400-650-540	13.96	
			13/32 DRILL BIT	400-650-540	16.35	
			27/64 DRILL BIT	400-650-540	36.86	
			29/64 DRILL BIT	400-650-540	21.14	
			31/64 DRILL BIT	400-650-540	47.16	
			1/2 DRILL BIT	400-650-540	47.62	
01-04513	KNOUSE, RANDY	119802	OCTOBER 28, 2014 MEETING	I 102814	10/28/2014	50.00
			OCTOBER 28, 2014 MEETING	001-180-611	50.00	
01-02334	LATHAM, RITA	119803	NOVEMBER 2014	I 201411255847	11/26/2014	240.00
			NOVEMBER 2014	001-340-690	240.00	
01-02576	LINCOLN NATIONAL LIFE INS	119804	502251: 12-01-14 - 12-31-14	I 201411255846	11/25/2014	3,891.87
			502251: 12-01-14 - 12-31-14	001-010-480	144.46	
			502251: 12-01-14 - 12-31-14	001-020-480	45.99	
			502251: 12-01-14 - 12-31-14	001-040-480	119.61	
			502251: 12-01-14 - 12-31-14	001-040-480	23.00	
			502251: 12-01-14 - 12-31-14	001-092-480	31.61	
			502251: 12-01-14 - 12-31-14	001-040-480	23.00	
			502251: 12-01-14 - 12-31-14	001-100-480	1,204.36	
			502251: 12-01-14 - 12-31-14	001-160-480	944.84	
			502251: 12-01-14 - 12-31-14	001-180-480	209.45	
			502251: 12-01-14 - 12-31-14	001-201-480	442.64	
			502251: 12-01-14 - 12-31-14	001-340-480	233.90	
			502251: 12-01-14 - 12-31-14	005-101-480	71.80	
			502251: 12-01-14 - 12-31-14	400-650-480	376.63	
			502251: 12-01-14 - 12-31-14	404-650-480	20.58	
01-04080	M & N PARTY STORE	119805	CHRISTMAS PARADE	I 6107702	11/13/2014	642.43
			DECK FRINGE	001-340-650	99.96	
			BANNER	001-340-650	3.19	
			PALM TREES	001-340-650	13.98	
			SHEETING	001-340-650	449.50	
			SHIPPING	001-340-650	75.80	
01-02372	MAC'S FRESH MARKET	119806	CWC LUNCH	I 201411205824	10/30/2014	197.37
			CWC LUNCH	001-201-540	197.37	
01-41000	MADISON COUNTY JOURNAL	119807	CREDIT FOR WRONG INVOICE#	C 300027562	10/31/2014	258.58CR
			CREDIT FOR WRONG INVOICE#	400-650-615	258.58CR	
01-41000	MADISON COUNTY JOURNAL	119808	BUDGET AMENDMENT	I 300027560	10/31/2014	258.58
			BUDGET AMENDMENT	400-650-615	258.58	
01-41000	MADISON COUNTY JOURNAL	119809	BUDGET AMENDMENT	I 300027562	10/31/2014	258.58
			BUDGET AMENDMENT	400-650-615	258.58	

VENDOR		DOCKET	*-----INVOICE-----*			
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-41100	MADISON COUNTY SHERIFF'S	119810	PRISONER HOUSING & MEDICA PRISONER HOUSING	I R-0914 001-100-687	10/01/2014 10,656.00	10,656.00
01-41100	MADISON COUNTY SHERIFF'S	119811	PRISONER HOUSING & MEDICA PRISONER MEDICAL	I R-M0914 001-100-687	10/13/2014 183.31	183.31
01-41200	MADISON COUNTY TAX COLLEC	119812	PARCEL 072I-29D-003 PARCEL 072I-29D-003	I 201411255849 001-000-328	11/25/2014 2,828.70	2,828.70
01-03554	MADISON SOUTH RUBBISH LAN	119813	RUBBISH DISPOSAL 12 CUBIC DUMP FEE 6 CUBIC DUMP FEE HOST FEE ENVIRONMENTAL FEE	I 7955 001-201-683 001-201-683 001-201-683 001-201-683	10/24/2014 240.00 150.00 19.50 19.50	429.00
01-03554	MADISON SOUTH RUBBISH LAN	119814	CUBIC DUMP FEE 12 CUBIC DUMP FEE 6 CUBIC DUMP FEE HOST FEE ENVIRONMENATL FEE	I 7972 001-201-683 001-201-683 001-201-683 001-201-683	11/01/2014 420.00 240.00 33.00 33.00	726.00
01-03554	MADISON SOUTH RUBBISH LAN	119815	CUBIC DUMP FEE 12 CUBIC YARDS 6 CUBIC YARDS HOST FEE ENVIRONMENTAL FEE	I 7988 001-201-683 001-201-683 001-201-683 001-201-683	11/08/2014 180.00 600.00 39.00 39.00	858.00
01-42310	MARS MARKETING PROMOTIONA	119816	BANNERS LOGO BANNERS LAYOUT FEE ART FEE SHIPPING	I 31351 001-340-650 001-340-650 001-340-650 001-340-650	11/14/2014 537.00 60.00 100.00 15.67	712.67
01-42480	MARTINSON'S GARDEN WORKS	119817	PINE STRAW PINESTRAW	I 18160 001-340-575	11/14/2014 162.50	162.50
01-04121	MAY, MARY MARGARET	119818	SR. ADULT PARTY ENTERTAINMENT	I 14-49206 001-340-650	11/20/2014 200.00	200.00
01-04083	MCCLAIN LODGE LLC	119819	TURKEY FEAST DINNER TURKEY FEAST DINNER LINEN PACKAGE SERVICE CHARGE	I 2241 001-340-650 001-340-650 001-340-650	11/13/2014 2,423.25 360.00 363.49	3,146.74
01-42885	MCGRAW RENTAL AND SUPPLY	119820	PARTS BOLT NUT 3/8 HOOK 5/16 HOOK 25' CHAIN	I 335014.1.1 400-650-635 400-650-635 400-650-635 400-650-635 400-650-635	10/30/2014 59.52 45.32 23.96 19.80 84.38	232.98

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-44250	MID-SOUTH UNIFORM & SUPPL	119821	PATCHES	I 522699	11/12/2014	265.00
			PATCHES	001-100-535	265.00	
01-04379	MILLER, JACY AMANDA	119822	NOVEMBER 2014	I 201411255848	11/25/2014	200.00
			NOVEMBER 2014	001-340-690	200.00	
01-00837	MISS CHEMICAL SUPPLY INC	119823	ODORINE SEWER SOLVENT	I 20592	11/12/2014	2,970.00
			ODORINE SEWER SOLVENT	400-650-540	2,970.00	
01-04591	MISS DEPARTMENT OF PUBLIC	119824	INTERLOCK IGNITION SUMMARY	I 201411265865	11/25/2014	9,501.50
			INTERLOCK IGNITION SUMMARY	001-000-118	9,501.50	
01-03495	MISS DEPARTMENT OF REVENUE	119825	OCTOBER 2014	I 201411265864	11/24/2014	147.00
			OCTOBER 2014	001-000-117	147.00	
01-00056	MISS MUNICIPAL LEAGUE	119826	REGISTR-HAMLIN/SMITH	I 201411185820	11/18/2014	135.00
			REGISTR-SMITH	001-020-681	135.00	
01-00056	MISS MUNICIPAL LEAGUE	119827	REGISTR-HAMLIN/SMITH	I 201411185821	11/18/2014	135.00
			REGISTR-HAMLIN	001-020-681	135.00	
01-00056	MISS MUNICIPAL LEAGUE	119828	REGSTR-GAUTIER/HOLDER	I 201411205822	11/20/2014	135.00
			REGISTER- C. GAUTIER	001-020-681	135.00	
01-00056	MISS MUNICIPAL LEAGUE	119829	REGSTR-GAUTIER/HOLDER	I 201411205823	11/20/2014	135.00
			REGISTER- K. HOLDER	001-020-681	135.00	
01-00186	MISS OFFICE OF SURPLUS PR	119830	SURPLUS DESK	I 43198	11/12/2014	80.00
			SURPLUS DESK	001-100-540	80.00	
01-47700	MISS STATE FIRE ACADEMY	119831	FD-DRIVER OPERATOR	I 22545	11/17/2014	1,310.00
			DRIVER OPERATOR	001-160-681	1,310.00	
01-04419	MISSISSIPPI AG COMPANY	119832	TRACTOR REPAIR	I P19907	11/12/2014	1,021.76
			FRONT BUCKET	001-340-635	1,004.30	
			KEYS	001-340-635	17.46	
01-04559	NEON'S SIGN SHOP	119833	SIGN REPAIR	I 55	11/24/2014	4,354.00
			WOLCOTT PARK	001-340-637	424.00	
			FRIENDSHIP PARK	001-340-637	648.00	
			FREEDOM RIDGE	001-340-637	3,282.00	
01-01133	O'REILLY AUTO PARTS	119834	TRANSMISSION FLUID	I 449425	11/17/2014	24.57
			TRANSMISSION FLUID	001-020-632	24.57	
01-03722	OFFICE NETWORKX	119835	OFFICE SUPPLIES	I 82301	11/19/2014	82.84
			EASEL PAD 27X34	001-201-500	38.99	
			CATALOG ENVELOPE	001-201-500	26.52	
			FILE FOLDERS	001-201-500	17.33	
01-03722	OFFICE NETWORKX	119836	SENIOR ADULT SUPPLIES	I 82363	11/20/2014	138.68

VENDOR		DOCKET		*-----INVOICE-----*				
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT		
01-03722	OFFICE NETWORKX	119836	SENIOR ADULT SUPPLIES	I 82363	11/20/2014	138.68	CONT	
			SPACE HEATER	001-340-540	83.00			
			YEARLY CALENDAR	001-340-540	8.97			
			PLANNER	001-340-540	17.78			
			PENCIL SHARPENER	001-340-540	22.93			
			DESK CALENDAR	001-340-540	6.00			
01-53715	OFFICE PRODUCTS PLUS INC	119837	RIBBON & NOTEBOOK	I 703275-0	11/10/2014	133.80		
			RIBBON	001-180-540	85.56			
			NOTEBOOKS	001-180-540	48.24			
01-53715	OFFICE PRODUCTS PLUS INC	119838	OFFICE SUPPLIES	I 703768-0	11/13/2014	108.36		
			CHAIR MAT	001-100-500	61.99			
			CORD CONCEALERS	001-100-500	29.98			
			CARD BOOK	001-100-500	16.39			
01-53715	OFFICE PRODUCTS PLUS INC	119839	FILE FOLDER	I 704425-0	11/20/2014	28.99		
			FILE FOLDER	001-180-540	28.99			
01-54020	ORIENTAL TRADING COMPANY	119840	CHRISTMAS DECORATIONS	I 668423787-01	11/12/2014	102.99		
			CANDY CANES	001-340-650	18.75			
			XMAS KISSES CANDY	001-340-650	15.75			
			NESTLE JINGLE CANDY	001-340-650	16.50			
			ALOHA BANNER	001-340-650	2.00			
			BEACH BACKGROUND	001-340-650	16.00			
			HULA GIRLS	001-340-650	10.50			
			SNOW PEOPLE	001-340-650	10.50			
			SHIPPING	001-340-650	12.99			
01-54050	OVERHEAD DOOR CO	119841	REPAIR SHOP DOORS	I 46888	11/04/2014	463.50		
			REPAIR SHOP DOORS	400-650-637	463.50			
01-04017	OZBORN COMMUNICATIONS, LL	119842	FLASHLIGHTS	I 18450	11/10/2014	405.00		
			FLASHLIGHTS	001-100-540	230.00			
			FLASHLIGHTS	001-100-540	175.00			
01-04017	OZBORN COMMUNICATIONS, LL	119843	COMPLETE OUTFITS - 6 CARS	I 18469	11/19/2014	26,324.82		
			BARLIGHTS	001-100-730	11,100.00			
			PUSH BUMPER	001-100-730	1,830.00			
			CAGES	001-100-730	3,870.00			
			CHARGE GUARD	001-100-730	675.00			
			CONSOLES	001-100-730	2,310.00			
			NMO MOBILE MOUNT	001-100-730	126.00			
			CONNECTORS	001-100-730	21.00			
			POWER KIT	001-100-730	255.00			
			ANTENNAS	001-100-730	293.82			
			4 HEAD LED	001-100-730	1,440.00			
			HIDE AWAY LED	001-100-730	864.00			
			EQUIPMENT INSTALL	001-100-730	3,300.00			
			CABLE GROMMET	001-100-730	48.00			
			RELAYS	001-100-730	192.00			

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-57350	PRASSEL LUMBER COMPANY IN	119844	PRASSEL LUMBER COMPANY INC	I 745690	11/10/2014	311.78
			PRIMER	001-160-540	15.96	
			HOSE BIBB	001-160-540	4.21	
			BLADE	001-160-540	22.98	
			4X4X12	001-160-540	129.69	
			4X6X12	001-160-540	94.84	
			2X4X12	001-160-540	44.10	
01-57350	PRASSEL LUMBER COMPANY IN	119845	8' STEPLADDER	I 746102	11/13/2014	109.40
			8' STEPLADDER	001-201-540	109.40	
01-57350	PRASSEL LUMBER COMPANY IN	119846	FD-KITCHEN MATERIALS	I 746178	11/13/2014	66.59
			1X4X8	001-160-637	7.63	
			DOOR STOP	001-160-637	3.36	
			3/4" PLYWOOD	001-160-637	55.60	
01-58400	PUCKETT MACHINERY COMPANY	119847	ZIPPER TEETH	I P00C5863045	11/12/2014	674.00
			ZIPPER TEETH	001-201-635	674.00	
01-58450	PYLE, MILLS, & DYE, P.A.	119848	SERVICE AS OF 11-21-14	I 201411255850	11/21/2014	17,480.47
			SERVICE AS OF 11-21-14	001-180-601	7,280.43	
			SERVICE AS OF 11-21-14	001-060-601	75.00	
			SERVICE AS OF 11-21-14	001-060-601	2,670.00	
			SERVICE AS OF 11-21-14	001-100-601	225.00	
			SERVICE AS OF 11-21-14	001-160-604	150.00	
			SERVICE AS OF 11-21-14	001-201-601	150.00	
			SERVICE AS OF 11-21-14	362-601-601	5,250.04	
			SERVICE AS OF 11-21-14	378-601-601	225.00	
			SERVICE AS OF 11-21-14	388-601-601	225.00	
			SERVICE AS OF 11-21-14	400-650-601	255.00	
			SERVICE AS OF 11-21-14	474-650-601	975.00	
01-58550	QUALITY CHEMICAL & SUPPLY	119849	SUPPLIES	I 166880	11/12/2014	543.20
			CENTER PULL TOWELS	001-201-510	344.00	
			TOILET TISSUE	001-201-510	199.20	
01-02928	RACESONLINE.COM	119850	HEATWAVE TRIATHLON	I 1097	11/12/2014	250.00
			HEATWAVE TRIATHLON	001-340-540	250.00	
01-02928	RACESONLINE.COM	119851	WEBSITE FEE	I 1098	11/12/2014	250.00
			WEBSITE FEE	001-340-540	250.00	
01-00686	RATLIFF, LYDUMAH	119852	REIMBURSE FOR DAMAGED DOORS	I 201411255851	11/10/2014	454.75
			REIMBURSE FOR DAMAGED DOORS	001-100-540	454.75	
01-04325	RICHARDSON, JAN M.	119853	NOVEMBER 17, 2014 MEETING	I 111714	11/17/2014	50.00
			NOVEMBER 17, 2014 MEETING	001-340-611	50.00	
01-60825	RICK'S PRO TRUCK & AUTO A	119854	GRAPHICS	I 11338	11/13/2014	3,900.00
			GRAPHICS	001-100-632	3,900.00	

VENDOR		DOCKET		*-----INVOICE-----*		
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-02200	RIVERS PEST CONTROL	119855	FIRE STATION #1 FIRE STATION #1	I 23874 001-160-637	10/27/2014 21.00	21.00
01-02200	RIVERS PEST CONTROL	119856	FIRE STATION #2 FIRE STATION #2	I 23875 001-160-637	10/27/2014 20.00	20.00
01-02200	RIVERS PEST CONTROL	119857	FIRE STATION #3 FIRE STATION #3	I 23876 001-160-637	10/27/2014 20.00	20.00
01-02200	RIVERS PEST CONTROL	119858	FIRE STATION #4 FIRE STATION #4	I 23877 001-160-637	10/27/2014 20.00	20.00
01-02200	RIVERS PEST CONTROL	119859	LIBRARY LIBRARY	I 23879 001-350-637	10/27/2014 28.00	28.00
01-02200	RIVERS PEST CONTROL	119860	STREET DEPT STREET DEPT	I 23881 001-201-637	10/27/2014 20.00	20.00
01-02200	RIVERS PEST CONTROL	119861	PUBLIC WORKS DEPT PUBLIC WORKS DEPT	I 23883 400-650-637	10/27/2014 23.00	23.00
01-02200	RIVERS PEST CONTROL	119862	PARKS MAINTENANCE BUILDING PARKS MAINTENANCE BUILDING	I 23886 001-340-637	10/27/2014 15.00	15.00
01-02200	RIVERS PEST CONTROL	119863	TENNIS CENTER TENNIS CENTER	I 23891 001-340-637	10/27/2014 29.00	29.00
01-02496	RJ YOUNG COMPANY	119864	JC1548: 10-25-14 - 11-23-14	I INV610808	11/17/2014	10,023.65
			JC1548: 10-25-14 - 11-23-14	001-010-635	351.51	
			JC1548: 10-25-14 - 11-23-14	001-020-635	0.00	
			JC1548: 10-25-14 - 11-23-14	001-040-635	1,023.18	
			JC1548: 10-25-14 - 11-23-14	001-080-635	0.00	
			JC1548: 10-25-14 - 11-23-14	001-100-635	3,408.50	
			JC1548: 10-25-14 - 11-23-14	001-160-635	1,721.68	
			JC1548: 10-25-14 - 11-23-14	001-180-635	1,485.24	
			JC1548: 10-25-14 - 11-23-14	400-650-635	2,033.54	
01-48825	ROSS, ALEX W	119865	OCTOBER 28, 2014 MEETING OCTOBER 28, 2014 MEETING	I 102814 001-180-611	10/28/2014 50.00	50.00
01-64600	SIGNS FIRST	119866	BANNERS BANNERS	I 144638 001-340-650	11/19/2014 229.50	229.50
01-64965	SKEEN PLUMBING & GAS INC	119867	QUARTERLY MAINTENANCE QRTLY (NOV) MAINTENC	I A52889 001-092-637	11/04/2014 430.00	430.00
01-03526	SNAP-ON TOOLS	119868	18V COMPACT IMPACT 18V COMPACT IMPACT	I 1029148632 001-201-730	10/29/2014 599.95	599.95
01-03526	SNAP-ON TOOLS	119869	1/4 SERVICE SET 1/4 SERVICE SET	I 1119149263 400-650-540	11/19/2014 156.00	156.00

VENDOR		DOCKET	*-----INVOICE-----*			
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-65950	SOUTHERN ADMINISTRATORS	119870	106: DECEMBER 2014	I 14112110600000	11/21/2014	503.75
			106: DECEMBER 2014	001-010-481	12.25	
			106: DECEMBER 2014	001-020-481	14.00	
			106: DECEMBER 2014	001-040-481	8.75	
			106: DECEMBER 2014	001-092-481	3.50	
			106: DECEMBER 2014	001-040-481	3.50	
			106: DECEMBER 2014	001-100-481	71.75	
			106: DECEMBER 2014	001-160-481	57.75	
			106: DECEMBER 2014	001-180-481	17.50	
			106: DECEMBER 2014	001-201-481	29.75	
			106: DECEMBER 2014	001-340-481	15.75	
			106: DECEMBER 2014	005-101-481	5.25	
			106: DECEMBER 2014	400-650-481	29.75	
			106: DECEMBER 2014	404-650-481	1.75	
			106: DECEMBER 2014	001-000-170	201.00	
			106: DECEMBER 2014	005-000-170	4.50	
			106: DECEMBER 2014	400-000-170	25.50	
			106: DECEMBER 2014	404-000-170	1.50	
01-03210	SOUTHERN CONNECTION POLIC	119871	FD-NAMEPLATE	I 3851	11/12/2014	14.99
			NAMEPLATE	001-160-535	14.99	
01-04571	SOUTHERN GAS & SUPPLY OF	119872	FD-ALUMINUM RODS	I 31801515	11/13/2014	520.50
			ALUMINUM RODS	001-160-540	507.00	
			DELIVERY CHARGE	001-160-540	13.50	
01-03876	SOUTHERN PRINTING CO	119873	PRINTING	I 28281	11/06/2014	243.00
			PRINTING	001-010-540	243.00	
01-04508	SOUTHERN SOD SUPPLY	119874	SOD REPLACEMENT	I 88169	10/24/2014	272.00
			CENTIPEDE	400-650-575	90.00	
			ST. AUGUSTINE	400-650-575	185.00	
			PALLET FEE	400-650-575	6.00	
			PALLET REFUND	400-650-575	9.00CR	
01-66850	SOUTHERN TIRE MART INC	119875	FD-FLAT REPAIR E2	I 15285029	11/07/2014	99.45
			FUEL SURCHARGE	001-160-632	17.50	
			FLAT REPAIR	001-160-632	35.00	
			SERVICE CALL	001-160-632	40.00	
			VALVE STEM	001-160-632	6.95	
01-04347	STACY, LEA ANNE	119876	NOVEMBER 17, 2014 MEETING	I 111714	11/17/2014	50.00
			NOVEMBER 17, 2014 MEETING	001-340-611	50.00	
01-67940	STAR SERVICE INC OF JACKS	119877	00753: 12-01-14 - 12-31-14	I 051764	11/25/2014	5,785.00
			00753: 12-01-14 - 12-31-14	001-092-637	784.00	
			00753: 12-01-14 - 12-31-14	001-100-637	2,032.00	
			00753: 12-01-14 - 12-31-14	001-160-637	1,223.00	
			00753: 12-01-14 - 12-31-14	001-201-637	234.00	
			00753: 12-01-14 - 12-31-14	001-340-637	792.00	
			00753: 12-01-14 - 12-31-14	400-650-637	234.00	

VENDOR		DOCKET	*-----INVOICE-----*			
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT
01-67940	STAR SERVICE INC OF JACKS	119877	00753: 12-01-14 - 12-31-14	I 051764	11/25/2014	5,785.00
			00753: 12-01-14 - 12-31-14	001-350-637	486.00	CONT
01-67980	STARING TRAILER SALES	119878	18' TRAILER	I 5029	11/12/2014	3,880.00
			18' TRAILER	001-201-730	3,750.00	
			TITLE	001-201-730	10.00	
			RECEIVER AND BALL	001-201-730	120.00	
01-68200	STATE TREASURER	119879	OCTOBER 2014	I 201411265866	11/24/2014	79,869.88
			OCTOBER 2014	001-000-107	2,708.75	
			OCTOBER 2014	001-000-113	6,205.53	
			OCTOBER 2014	001-000-114	180.00	
			OCTOBER 2014	001-000-227	180.00	
			OCTOBER 2014	001-000-332	69,755.60	
			OCTOBER 2014	001-000-116	840.00	
01-68950	SUBER, CONNIE	119880	OCTOBER 28, 2014 MEETING	I 102814	10/28/2014	50.00
			OCTOBER 28, 2014 MEETING	001-180-611	50.00	
01-04363	SWEATT, RITA	119881	ENTERTAINMENT	I 14-48691	11/13/2014	400.00
			RITA SWEATT	001-340-650	400.00	
01-02053	SYSTEM SCALE CORPORATION	119882	BENCH TEST METERS	I LA9056502	11/07/2014	250.00
			BENCH TEST METERS	400-650-604	250.00	
01-71780	TRACE CLEANERS	119883	TABLE CLOTHS	I 554111	10/22/2014	160.00
			TABLE CLOTHS/GREEN	001-340-540	160.00	
01-71780	TRACE CLEANERS	119884	TABLE CLOTHS	I 554112	10/22/2014	160.00
			TABLE CLOTHS/B&W	001-340-540	160.00	
01-02852	TRANSAMERICA LIFE INSURAN	119885	0B232: NOVEMBER 2014	I TWM000034250143976	11/25/2014	236.17
			0B232: NOVEMBER 2014	001-000-171	140.28	
			0B232: NOVEMBER 2014	400-000-171	95.89	
01-01571	TRI-STATE TRUCK CENTER	119886	COOLANT SENSOR	I FI15084	11/10/2014	28.80
			COOLANT SENSOR	001-201-632	28.80	
01-01571	TRI-STATE TRUCK CENTER	119887	COOLANT SENSOR	I FI15094	11/13/2014	28.80
			COOLANT SENSOR	001-201-632	28.80	
01-01571	TRI-STATE TRUCK CENTER	119888	DIAGNOSTIC	I FW37195	11/10/2014	542.37
			DIAGNOSTIC & CAM SEN	001-201-632	542.37	
01-02393	TYLER TECHNOLOGIES	119889	TRAINING: BUSINESS PROCESS	I 025-109306	10/29/2014	4,700.00
			TRAINING	001-040-604	4,700.00	
01-02393	TYLER TECHNOLOGIES	119890	TRAINING: BUSINESS PROCESS	I 025-109587	10/31/2014	1,551.59
			TRAINING: BUSINESS PROCESS	001-040-604	1,551.59	
01-02393	TYLER TECHNOLOGIES	119891	JAN 2015 - DEC 2015: AUDIOTEL	I 025-110526	12/01/2014	5,457.31
			JAN 2015 - DEC 2015: AUDIOTEL	001-040-635	1,050.00	

VENDOR		DOCKET		*-----INVOICE-----*			
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT	
01-02393	TYLER TECHNOLOGIES	119891	JAN 2015 - DEC 2015: AUDIOTEL	I 025-110526	12/01/2014	5,457.31	CONT
			JAN 2015 - DEC 2015: AUDIOTEL	001-180-635	1,049.50		
			JAN 2015 - DEC 2015: AUDIOTEL	400-650-635	3,357.81		
01-02393	TYLER TECHNOLOGIES	119892	DEC 2014 UTILITY BILLING	I 025-111030	12/01/2014	370.00	
			DEC 2014 UTILITY BILLING	400-650-604	370.00		
01-02393	TYLER TECHNOLOGIES	119893	TRAINING: BUSINESS PROCESS	I 025-111483	11/19/2014	5,247.79	
			TRAINING: BUSINESS PROCESS	001-040-604	5,247.79		
01-03890	U.S. BANK EQUIPMENT FINAN	119894	797947: POLICE DEPT	I 266286210	11/17/2014	33.93	
			797947: POLICE DEPT	001-100-635	33.93		
01-03710	UNION AUTO PARTS	119895	PARTS	I 261990-00	10/30/2014	142.54	
			ICP SENSOR	400-650-632	110.64		
			PIGTAIL	400-650-632	31.90		
01-03710	UNION AUTO PARTS	119896	PARTS	I 264274-00	11/03/2014	11.21	
			BELT	001-201-632	11.21		
01-75100	WAGGONER ENGINEERING, INC	119897	PROJECT# C012039.001	I 30845	10/31/2014	23,812.00	
			PROJECT# C012039.001	390-601-600	23,812.00		
01-75450	WALMART	119898	REFRIGERATOR	I 01379	11/17/2014	164.84	
			REFRIGERATOR	400-650-540	164.84		
01-75450	WALMART	119899	WALMART	I 03501	11/10/2014	93.73	
			TERRY CLOTHS	001-160-540	6.47		
			SHARPIE	001-160-540	3.97		
			SPRAY PAINT	001-160-540	14.68		
			TOOL BOX	001-160-540	7.88		
			WATER HOSE	001-160-540	44.97		
			FLOURESCENT BULBS	001-160-540	15.76		
01-75450	WALMART	119900	TOILET TISSUE/PAPER TOWEL	I 05610	11/17/2014	295.99	
			TOILET TISSUE	001-092-510	236.98		
			PAPER TOWELS	001-092-510	32.82		
			PAPER TOWELS-SINGLE	001-092-510	26.19		
01-75450	WALMART	119901	SNACKS HIGHLAND ELEM	I 07226A	11/14/2014	82.59	
			SNACKS HIGHLAND ELEM	001-093-650	82.59		
01-75450	WALMART	119902	SUPPLIES	I 08565	11/06/2014	576.77	
			INK REFILL	400-650-540	3.68		
			2PK INK OENS	400-650-540	5.27		
			FLASH LIGHT	400-650-540	4.44		
			STOOL	400-650-540	19.96		
			40" TV	400-650-540	298.00		
			DVD PLAYER	400-650-540	59.00		
			KDMI CABLE	400-650-540	69.96		
			COFFEE	400-650-540	31.92		
			CREAMER	400-650-540	5.48		

VENDOR		DOCKET		*-----INVOICE-----*			
NUMBER	NAME	NUMBER	COMMENT	NUMBER	DATE	AMOUNT	
01-75450	WALMART	119902	SUPPLIES	I 08565	11/06/2014	576.77	CONT
			SUGAR	400-650-540	7.12		
			AC CHARGER	400-650-540	14.96		
			LYSOL	400-650-540	19.88		
			DAWN SOAP	400-650-540	11.28		
			PINE SOL	400-650-540	19.94		
			BLEACH	400-650-540	5.88		
01-75900	WASTE MANAGEMENT OF MS	119903	NOVEMBER 2014 SERVICES	I 0003515-1894-9	11/01/2014	105,248.85	
			NOVEMBER 2014 SERVICES	003-220-682	75,366.67		
			NOVEMBER 2014 SERVICES	003-220-683	29,882.18		
01-76200	WATSON QUALITY FORD	119904	WASHER NOZZLE	I 26633FOW	10/29/2014	10.26	
			WASHER NOZZLE	001-201-632	10.26		
01-76200	WATSON QUALITY FORD	119905	FD-	I 27894FOW	11/20/2014	55.82	
			TAIL GATE MOULDING	001-160-632	55.82		
01-04506	WELLS MARBLE & HURST PLLC	119906	ZONING ORDINACE SERVICES	I 89371	11/06/2014	37,392.50	
			ZONING ORDINACE SERVICES	001-180-601	37,392.50		
01-04506	WELLS MARBLE & HURST PLLC	119907	USAv.DAWN PROPERTIES SERVICES	I 89372	11/06/2014	6,069.60	
			USAv.DAWN PROPERTIES SERVICES	001-180-601	6,069.60		
01-02983	YELVERTON CONSULTING, LLC	119908	DECEMBER 2014 SERVICES	I 201411255852	11/30/2014	3,000.00	
			DECEMBER 2014 SERVICES	001-020-604	3,000.00		
						=====	
TOTAL =						761,201.59	
						=====	

FUND TOTALS		
FUND	NAME	TOTAL
001	GENERAL FUND	308,200.66
003	SANITATION	105,248.85
005	COURT SERVICES FEE FUND	115.01
362	COLONY PARK BLVD	60,000.04
378	LAKE HARBOUR DR EXT	225.00
388	HIGHLAND COLONY REHAB	225.00
390	CITY CENTER PROJECTS	23,812.00
400	PUBLIC UTILITIES FUND	33,694.55
404	EMCRS OPERATION & MAINT	228,705.48
474	SAMUELS LANE WATER WELL	975.00
TOTALS FOR ALL FUNDS =		761,201.59

DEPT: ALL

PAYROLL NO#: 01

November 28, 2014 payroll

*** G R A N D T O T A L S ***

-----EARNINGS-----			----BENF/REIMB----		-----DEDUCTIONS-----			-----TAXES-----				
DESC	HRS	AMOUNT	DESC	AMOUNT	CD	ABBV	EMPLOYEE	EMPLOYER	DESC	TAXABLE	EMPLOYEE	EMPLOYER
SAL	1,034.00	39,742.64	VEH	174.00	AFA	AFACC	713.83		FED W/H	390,672.89	40,381.28	
SMON	0.00	25,586.14			AFC	AFCAN	834.86		ST WH MS	390,672.89	13,038.00	
REG	17,583.25	297,789.51			AFH	AFHOS	387.34		FICA	432,392.60	26,808.28	26808.28
RETRO	0.00	643.02			AFS	AFSPE	222.29		MEDI	432,392.60	6,269.72	6269.72
R/O	16.00	330.73			ANN	ANUTY	1445.00					
O/T	825.75	20,396.27			B16	BKRUP	135.50					
CE	1.50	0.00			C16	CHSUP	83.50					
CMPRG	2.00	0.00			C18	CHSUP	172.00					
COMP	34.75	470.72			C19	CHSUP	130.50					
SICK	948.50	15,770.37			C21	CHSUP	95.00					
VAC	964.00	20,457.53			C27	CHSUP	92.00					
HOL	1,501.00	29,414.59			C32	CHSUP	225.00					
HRO	24.00	335.76			C33	CHSUP	25.00					
HOLB	1,268.00	0.00			C39	CHSUP	152.50					
PARAM	0.00	1,153.85			C41	CHSUP	97.50					
SHIFT	0.00	675.00			C42	CHSUP	147.50					
YMCA	0.00	45.00			C43	CHSUP	110.00					
TRAFF	0.00	2,002.00			C44	CHSUP	277.50					
TASKF	20.00	524.40			C47	CHSUP	150.00					
					C48	CHSUP	112.50					
					C49	CHSUP	62.50					
					CAF	ADMFE	110.25	130.24				
					CCF	CANCEF	118.09					
					CFM	CFM	10.50	12.25				
					CHC	CHCAR	1196.87					
					CO5	CHSUP	310.00					
					CRU	CRUN	6841.40					
					D09	GARNI	24.72					
					D10	GARNI	271.55					
					D13	GARNI	298.17					
					D14	GARNI	264.68					
					DCF	DENCF	2240.96	1228.50				
					DCM	DCM	269.19	161.94				
					DEN	DENTL		2116.60				
					DMO	DMO		53.98				
					G63	GARNI	160.40					
					G88	GARNI	97.19					
					HCF	HTHCF	12454.69	10515.84				
					HCM	HCM	1723.64	1643.10				
					HLT	HELTH	160.80	30233.04				
					HMO	HMO		657.24				
					HRF	HRF	449.50	676.50				
					LIF	LIFE	79.68	1383.30				
					MDF	YMCA	472.00					

DEPT: ALL

PAYROLL NO#: 01

** (CONTINUED) **

DATE	ORG FN	ACCOUNT	CODE/RATE	HOURLY RATE	HOURS	AMOUNT	PROJECT
				MDI YMCA	45.00		
				RET RET	40274.71	70949.56	
				UNR UNREM	3013.71		
TOTALS: 24,222.75 455,337.53 174.00 76559.52 119762.09 86,497.28 33078.00							

DEPARTMENT RECAP

DEPT NO#	GROSS	REGULAR	OVERTIME	LEAVE	OTHER	BENEFITS	DEDUCTIONS	TAXES	NET
001-010	20,180.78	18,817.00	0.00	1,282.08	81.70	0.00	3,133.77	3,365.99	13,681.02
001-020	16,497.30	15,994.92	0.00	502.38	0.00	0.00	4,369.35	2,766.34	9,361.61
001-040	20,788.43	16,280.98	70.59	4,436.86	0.00	0.00	3,263.67	4,117.57	13,407.19
001-092	3,007.20	2,585.36	0.00	421.84	0.00	0.00	504.20	488.86	2,014.14
001-093	1,805.03	1,100.63	0.00	704.40	0.00	0.00	179.87	340.87	1,284.29
001-100	141,485.59	111,550.09	11,171.77	15,312.69	3,451.04	0.00	21,285.13	27,302.58	92,897.88
001-160	108,717.35	81,652.79	8,441.45	17,469.26	1,153.85	0.00	19,835.25	21,426.75	67,455.35
001-180	22,648.11	19,487.61	0.00	2,970.00	190.50	0.00	5,021.73	4,196.01	13,430.37
001-201	46,884.82	38,329.23	0.00	8,402.61	50.98	102.00	7,379.62	8,214.06	31,189.14
001-340	26,168.30	21,266.49	5.14	4,896.67	0.00	0.00	3,572.46	5,417.99	17,177.85
005-101	7,703.20	5,369.04	0.00	2,218.96	115.20	0.00	1,157.70	1,385.07	5,160.43
400-650	37,551.98	29,112.45	689.18	7,468.52	209.83	72.00	6,657.81	6,957.90	23,864.27
404-650	2,073.44	1,571.70	18.14	362.70	120.90	0.00	198.96	517.29	1,357.19
TOTALS 455,511.53 363,118.29 20,396.27 66,448.97 5,374.00 174.00 76,559.52 86,497.28 292,280.73									

REGULAR INPUT: 278

MANUAL INPUT: 0

CHECK STUB COUNT: 7

DIRECT DEPOSIT STUB COUNT: 272